



# City of Carrollton

1945 E. Jackson Road  
Carrollton, TX 75006

## SPECIAL COUNCIL MEETING

### City Council

*Mayor Matthew Merchant*

*Mayor Pro Tem Doug Hrbacek*

*Deputy Mayor Pro Tem Steve Babick*

*Councilmember James Lawrence*

*Councilmember Anthony Wilder*

*Councilmember Bob Garza*

*Councilmember Glen Blansct*

*Councilmember John Sutter*

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Tuesday, February 28, 2017

5:15 PM

CITY HALL, 2nd Floor

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### SPECIAL MEETING

#### 5:15 P.M. – COUNCIL CHAMBERS

#### \*\*\*EXECUTIVE SESSION\*\*\*

1. Council will convene in Executive Session pursuant to Texas Government Code:
  - **Section 551.071** for private consultation with the City Attorney to seek legal advice with respect to pending and contemplated litigation and including all matters on this agenda to which the City Attorney has a duty under the Texas Rules of Discipline and Professional Conduct regarding confidential communication with the City Council.
2. Council will reconvene in open session to consider action, if any, on matters discussed in the Executive Session.

### OTHER BUSINESS

3. Consider An Ordinance Annexing 144.13 Acres Of Land Generally Located Near The Northwest Corner Of The Intersection Of Parker Road/FM 544 And Josey Lane. Case No. 01-17MD1 Castle Hills - Clem Property (Annexation).

### PUBLIC HEARING - INDIVIDUAL CONSIDERATION

4. Hold A Public Hearing And Consider A Resolution To Amend The Comprehensive Plan And The Future Land Use Map On A 144.13-Acre Site Generally Located Northwest Of The Intersection Of Parker Road/FM 544 And Josey Lane To Single-Family Detached Residential, Multi-Family, And Open Space. Case No. 02-17MD2 Castle Hills, Phase 10 (Comp Plan).

5. Hold A Public Hearing And Consider An Ordinance Establishing Zoning On A Proposed 144.13-Acre Annexation Tract Located Near The Northwest Corner Of The Intersection Of Parker Road/FM 544 And Josey Lane; Proposing Establishment Of A (PD) Planned Development District To Allow For The (SF-5/12) Single-Family Detached Residential And (MF-18) Multi-Family Residential Districts With Development Standards; Amending The Official Zoning Map Accordingly. Case No. 02-17Z2 Castle Hills 10 - Clem Tract (Zoning).
6. Hold A Public Hearing And Consider A Resolution Authorizing And Creating The Carrollton Castle Hills Public Improvement District No. 2 On A 144.13-Acre Tract Generally Located At The Northwest Corner Of The Intersection Of Parker Road/FM 544 And Josey Lane.

## ADJOURNMENT

*CERTIFICATE - I certify that the above agenda giving notice of meeting was posted on the bulletin board at the City Hall of Carrollton, Texas on the 24th day of February 2017 at 12:00pm.*

Laurie Garber

Laurie Garber, City Secretary

*This building is wheelchair accessible. For accommodations or sign interpretive services, please contact City Secretary's Office at least 72 hours in advance at 972-466-3005. Opportunities and services are offered by the City of Carrollton without regard to race, color, age, national origin, religion, sex or disability.*

*Pursuant to Section 551.071 of the Texas Government Code, the City Council reserves the right to consult in a closed meeting with its attorney and to receive legal advice regarding any item listed on this agenda. Further, the Texas Open Meetings Act, codified in Chapter 551 of the Texas Government Code, does not require an agenda posting where there is a gathering of a quorum of the City Council at a regional, state or national convention or workshop, social function, convention, workshop, ceremonial event or press conference. The City Secretary's Office may occasionally post agendas for social functions, conventions, workshops, ceremonial events or press conference; however, there is no legal requirement to do so and in the event a social function, convention, workshop, ceremonial event or press conference is not posted by the City Secretary's Office, nothing shall preclude a quorum of the City Council from gathering as long as "deliberations" within the meaning of the Texas Open Meetings Act do not occur.*

*FIREARMS PROHIBITED at City Council meetings pursuant to Texas Penal Code Sections 46.035(c) and 30.05.*



# City of Carrollton

## Agenda Memo

File Number: 3134

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**Agenda Date:** 2/28/2017

**Version:** 1

**Status:** Other Business

**In Control:** City Council

**File Type:** Ordinance

**Agenda Number:** 3.

**CC MEETING:** February 28, 2017

**DATE:** February 17, 2017

**TO:** Erin Rinehart, City Manager

**FROM:** Loren Shapiro, AICP, Chief Planner

Consider An Ordinance Annexing 144.13 Acres Of Land Generally Located Near The Northwest Corner Of The Intersection Of Parker Road/FM 544 And Josey Lane. Case No. 01-17MD1 Castle Hills - Clem Property (Annexation).

### **BACKGROUND:**

This agenda item is for City Council action on an ordinance annexing the property. Public hearings were held on January 24 and February 7, 2017. The property was previously in the Town of Hebron. On January 2, 2017 the Town of Hebron adopted an ordinance disannexing the property.

A proposed annexation ordinance (including a Municipal Service Plan) is attached.

### **STAFF RECOMMENDATION/ACTION DESIRED:**

Staff recommends that City Council approve the attached annexation ordinance.

## **RESULT SHEET**

**Case No./Name: 01-17MD1Castle Hills - Clem Property**

**A. STAFF STIPULATIONS AND RECOMMENDATIONS**

Staff recommends **APPROVAL** of the attached Ordinance with the service plan annexing the property into the city.

**B. CC RESOLUTION** directing staff to prepare a Service Plan from CC meeting:

01/10/2017

Result: **APPROVED** /Vote: 7-0

**C. FIRST CC PUBLIC HEARING:** 01/24/2017

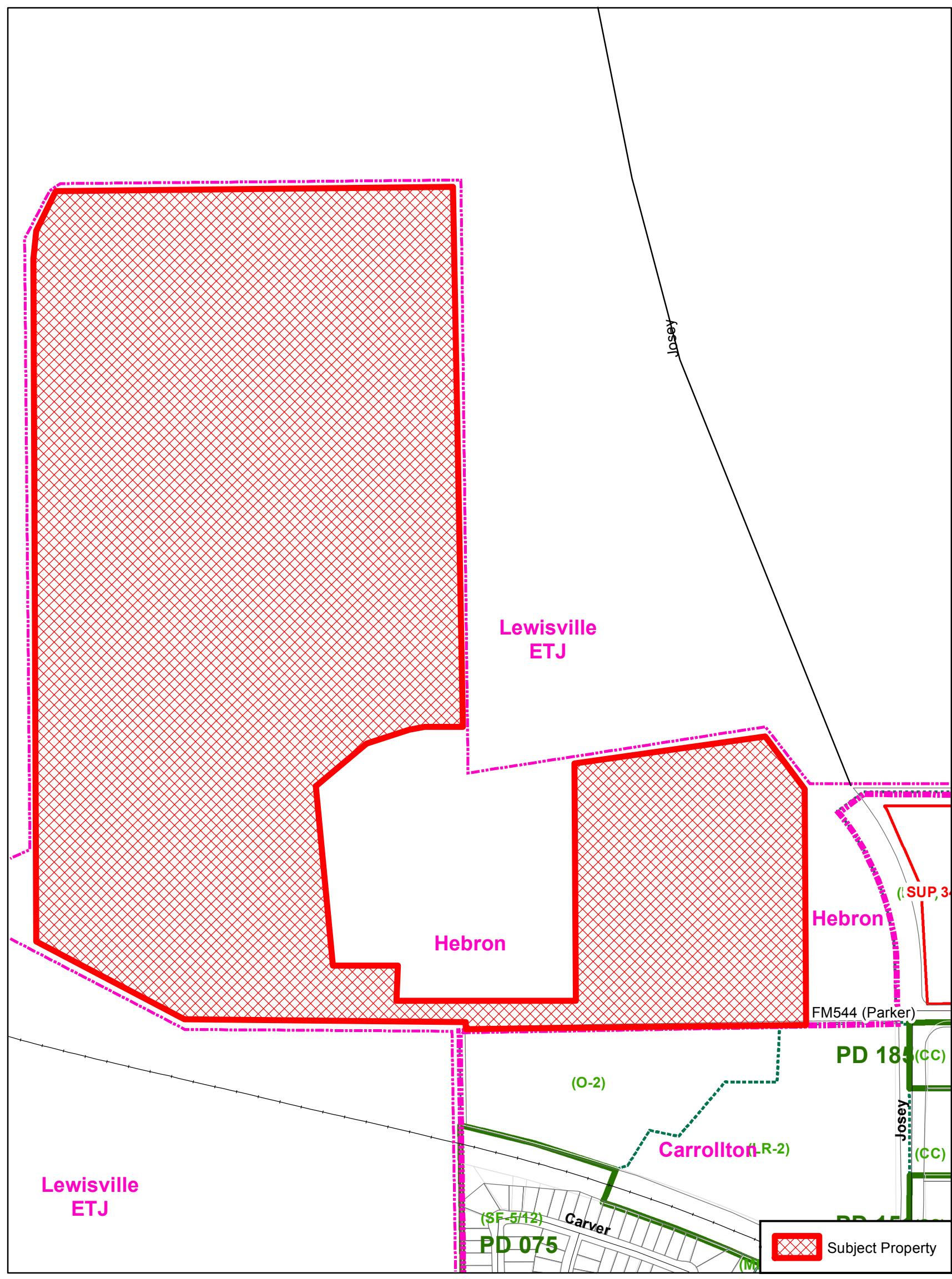
Result: No Action

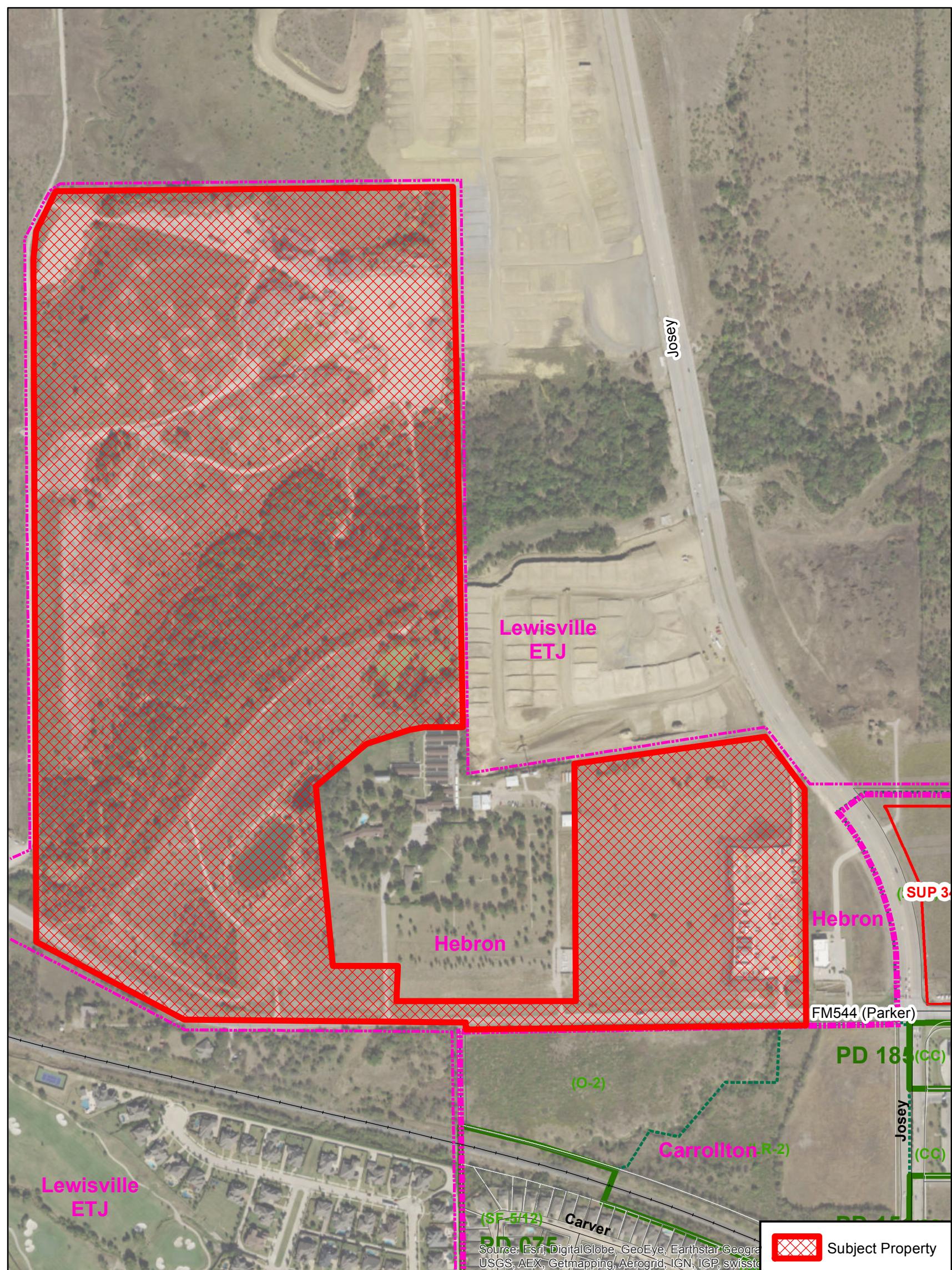
**D. SECOND CC PUBLIC HEARING:** 02/07/2017

Result: No Action

**E. ANNEXATION ORDINANCE APPROVAL:** 02/28/2017

Result: /Vote:





PLANNING DEPARTMENT  
City of Carrollton  
Date: \_\_\_\_\_

Castle Hills Ph. 10 – Clem Tract  
Annexation

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CARROLLTON, TEXAS ANNEXING APPROXIMATELY 145 ACRES GENERALLY LOCATED NEAR THE NORTHWEST INTERSECTION OF PARKER ROAD (FM 544) AND JOSEY LANE; EXTENDING THE BOUNDARY LIMITS OF SAID CITY SO AS TO INCLUDE THE HEREINAFTER DESCRIBED PROPERTY WITHIN SAID CITY LIMITS, AND GRANTING TO ALL INHABITANTS AND OWNERS OF SAID PROPERTY ALL THE RIGHTS AND PRIVILEGES OF OTHER CITIZENS AND BINDING SAID INHABITANTS BY ALL THE ACTS, ORDINANCES, RESOLUTIONS, AND REGULATIONS OF THE CITY; PROVIDING A SEVERABILITY CLAUSE AND AN EFFECTIVE DATE ON AND AFTER ADOPTION AND PUBLICATION.

WHEREAS, the City is authorized, pursuant to the Texas Local Government Code, Chapter 43, to annex an area located in its extraterritorial jurisdiction;

WHEREAS, the charter of the City of Carrollton, Texas authorizes the annexation of territory subject to the laws of the state;

WHEREAS, a service plan has been developed and presented for said territory, two public hearings have been held, and all other requirements under the provisions of Chapter 43 of the Texas Local Government Code have been fulfilled;

WHEREAS, the procedures prescribed by the charter and the state laws have been duly followed with respect to the said tract; and

WHEREAS, the members of the Council of the City of Carrollton have concluded that said area should be made a part of the City of Carrollton, Texas;

NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CARROLLTON, TEXAS, THAT:

Section 1.

The territory described in Exhibit A and generally depicted in Exhibit B, attached hereto and incorporated herein, is hereby annexed to the City of Carrollton, Texas, and the boundary limits of the City of Carrollton be and the same are hereby extended to include above described territory within the city limits, and the same shall hereafter be included within the territorial limits of said city, and the inhabitants and owners of property hereafter shall be entitled to all rights and privileges of other citizens of the city and shall be bound by all acts, ordinances, resolutions and regulations of the city.

Section 2.

The City Secretary is hereby directed to file with the County Clerk of Denton County, Texas a certified copy of this ordinance.

Section 3.

The approved service plan is attached hereto as Exhibit C and is approved as part hereof.

Section 4.

The terms and provisions of this ordinance are severable and are governed by Section 10.07 of the Code of Ordinances, City of Carrollton, Texas.

Section 5.

This ordinance shall be effective from and after its adoption and publication.  
PASSED AND APPROVED this the Twenty-Eighth day of February, 2017.

CITY OF CARROLLTON

By:

\_\_\_\_\_

Doug Hrbacek, Mayor Pro Tem

ATTEST:

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Laurie Garber  
City Secretary

APPROVED AS TO FORM:

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Susan Keller  
Assistant City Attorney

APPROVED AS TO CONTENT:

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Loren Shapiro, AICP  
Chief Planner

## EXHIBIT A

### LEGAL DESCRIPTION:

CARROLLTON ANNEXATION  
 144.130 ACRES  
 T. WEST SURVEY, A-1345  
 A. SINGLETON SURVEY, A-1138  
 B. SCHOONOVER SURVEY, A-1209  
 DENTON COUNTY, TEXAS

FIELD NOTES TO ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE T. WEST SURVEY, ABSTRACT NO. 1345, THE A. SINGLETON SURVEY, ABSTRACT NO. 1138 AND THE B. SCHOONOVER SURVEY, ABSTRACT NO. 1209, DENTON COUNTY, TEXAS, BEING A PART OF THAT CERTAIN CALLED 51.64 ACRE TRACT OF LAND DESCRIBED AS TRACT TWO IN DEED TO CLEMS YE OLDE HOMESTEAD FARMS, RECORDED IN DOCUMENT #2009-147771, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS, ALL OF THAT CERTAIN CALLED 31 ACRE TRACT OF LAND DESCRIBED AS TRACT ONE IN SAID DOCUMENT #2009-147771 AND PART OF THAT CERTAIN CALLED 166 ACRE TRACT OF LAND DESCRIBED IN DEED TO GLADYS MAY CRIDER, RECORDED IN VOLUME 195, PAGE 364, DEED RECORDS, DENTON COUNTY, 1/2 INTEREST CONVEYED TO KELLY CLEM AND CASEY CLEM BY DEED RECORDED IN VOLUME 2494, PAGE 687, DEED RECORDS, DENTON COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY NORTHEAST CORNER OF THE TRACT BEING DESCRIBED HEREIN AT A POINT 5 FEET WEST OF THE WEST RIGHT-OF-WAY LINE OF JOSEY LANE AND 5 FEET SOUTH OF THE SOUTH LINE OF THAT CERTAIN CALLED 19.413 ACRE TRACT OF LAND DESCRIBED IN DEED TO CADG LAKWOOD HILLS SOUTH, LLC, RECORDED IN DOCUMENT #2014-12945, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS, FROM WHICH THE SOUTHEAST CORNER THEREOF BEARS NORTH 27 DEGREES 28 MINUTES 26 SECONDS EAST, A DISTANCE OF 6.23 FEET;

THENCE SOUTH 25 DEGREES 56 MINUTES 50 SECONDS EAST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 53.29 FEET TO A POINT FOR CORNER;

THENCE SOUTH 44 DEGREES 23 MINUTES 30 SECONDS EAST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 194.15 FEET TO A POINT FOR CORNER IN THE WEST LINE OF GRAHAM ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT #2010-197, PLAT RECORDS, DENTON COUNTY, TEXAS;

THENCE SOUTH 01 DEGREES 51 MINUTES 21 SECONDS EAST, WITH SAID WEST LINE, A DISTANCE OF 987.78 FEET MORE OR LESS TO A POINT IN THE SOUTH RIGHT-OF-WAY LINE OF F.M. 544 AND THE NORTH LINE OF THE CITY OF CARROLLTON CITY LIMITS FOR THE SOUTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE SOUTH 89 DEGREES 38 MINUTES 18 SECONDS WEST, WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 145.73 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 06 MINUTES 26 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 106.25 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 06 MINUTES 15 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 1176.80 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 59 MINUTES 58 SECONDS WEST, A DISTANCE OF 5.00 FEET TO A POINT FOR CORNER 5 FEET NORTH OF THE SOUTH RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE SOUTH 89 DEGREES 00 MINUTES 02 SECONDS WEST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 872.86 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE PARALLEL WITH SAID RIGHT-OF-WAY LINE AND WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 221.78 FEET, A RADIUS OF 608.02 FEET, A CENTRAL ANGLE OF 20 DEGREES 53 MINUTES 55 SECONDS, AND A CHORD THAT BEARS NORTH 80 DEGREES 22 MINUTES 09 SECONDS WEST, A DISTANCE OF 220.55 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 89 DEGREES 18 MINUTES 15 SECONDS WEST, A DISTANCE OF 57.44 FEET TO A POINT FOR CORNER IN THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE NORTH 60 DEGREES 20 MINUTES 31 SECONDS WEST, WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 632.87 FEET TO A POINT 5 FEET EAST OF THE WEST LINE OF SAID TRACT TWO FOR THE SOUTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE NORTH 01 DEGREES 07 MINUTES 27 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO, A DISTANCE OF 139.00 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 32 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO, A DISTANCE OF 245.62 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 39 MINUTES 37 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO AND 5 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID TRACT ONE, A DISTANCE OF 2338.14 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE PARALLEL WITH THE WEST LINE OF SAID TRACT ONE AND WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 310.68 FEET, A RADIUS OF 595.00 FEET, A CENTRAL ANGLE OF 29 DEGREES 54 MINUTES 53 SECONDS, AND A CHORD THAT BEARS NORTH 14 DEGREES 15 MINUTES 51 SECONDS EAST, A DISTANCE OF 307.14 FEET TO THE POINT OF REVERSE CURVE;

THENCE PARALLEL WITH THE WEST LINE OF SAID TRACT ONE AND WITH SAID REVERSE CURVE TO THE LEFT, AN ARC LENGTH OF 18.07 FEET, A RADIUS OF 605.00 FEET, A CENTRAL ANGLE OF 01 DEGREES 42 MINUTES 41 SECONDS, AND A CHORD THAT BEARS NORTH 28 DEGREES 21 MINUTES 58 SECONDS EAST, A DISTANCE OF 18.07 FEET TO A POINT 5 FEET SOUTH OF THE NORTH LINE OF SAID TRACT ONE FOR THE NORTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

**NOTES:**

1. BEARING BASIS DERIVED FROM GPS OBSERVATIONS MADE ON THE GROUND. TEXAS NORTH CENTRAL NAD 83.

2. THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTEREST IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTEREST IMPLIED OR ESTABLISHED BY THE CREATION OR RECREATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

CARROLLTON ANNEXATION  
**144.130 ACRES**  
 DENTON COUNTY, TEXAS

 <b>ALL AMERICAN SURVEYING</b>		301 W. BROADWAY ST. GAINESVILLE, TX 76240 PH. 940-665-9105 FAX. 940-665-9106 TBPLS FIRM NO. 10048000		
DRAWN BY: CJ	DATE: 11/09/2016	JOB NO. 1512.0026.2	SCALE: 1" = 500'	PAGE: 5 OF 6

# EXHIBIT A

## LEGAL DESCRIPTION:

THENCE NORTH 89 DEGREES 23 MINUTES 57 SECONDS EAST, PARALLEL WITH SAID NORTH LINE, A DISTANCE OF 1633.18 FEET TO A POINT 5 FEET WEST OF THE EAST LINE OF SAID TRACT ONE FOR THE MOST NORTHERLY NORTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE SOUTH 00 DEGREES 58 MINUTES 02 SECONDS EAST, PARALLEL WITH SAID EAST LINE AND 5 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID CLEM AND CRIDER TRACT, A DISTANCE OF 2163.83 FEET TO A POINT FOR CORNER;

THENCE SOUTH 88 DEGREES 42 MINUTES 42 SECONDS WEST, A DISTANCE OF 163.66 FEET TO A POINT FOR CORNER;

THENCE SOUTH 42 DEGREES 55 MINUTES 38 SECONDS WEST, A DISTANCE OF 69.88 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 25 MINUTES 50 SECONDS WEST, A DISTANCE OF 92.18 FEET TO A POINT FOR CORNER;

THENCE SOUTH 74 DEGREES 24 MINUTES 19 SECONDS WEST, A DISTANCE OF 364.91 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 50.72 FEET, A RADIUS OF 59.00 FEET, A CENTRAL ANGLE OF 49 DEGREES 15 MINUTES 07 SECONDS, AND A CHORD THAT BEARS SOUTH 27 DEGREES 22 MINUTES 09 SECONDS EAST, A DISTANCE OF 49.17 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 02 DEGREES 44 MINUTES 36 SECONDS EAST, A DISTANCE OF 369.26 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 12.41 FEET, A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 14 DEGREES 13 MINUTES 09 SECONDS, AND A CHORD THAT BEARS SOUTH 09 DEGREES 51 MINUTES 10 SECONDS EAST, A DISTANCE OF 12.38 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 16 DEGREES 57 MINUTES 44 SECONDS EAST, A DISTANCE OF 98.33 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 11.99 FEET, A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 13 DEGREES 44 MINUTES 35 SECONDS, AND A CHORD THAT BEARS SOUTH 10 DEGREES 05 MINUTES 27 SECONDS EAST, A DISTANCE OF 11.96 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 03 DEGREES 13 MINUTES 09 SECONDS EAST, A DISTANCE OF 162.93 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 30.40 FEET, A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 87 DEGREES 06 MINUTES 11 SECONDS, AND A CHORD THAT BEARS SOUTH 46 DEGREES 46 MINUTES 15 SECONDS EAST, A DISTANCE OF 27.56 FEET TO THE END OF SAID CURVE;

THENCE NORTH 89 DEGREES 40 MINUTES 39 SECONDS EAST, A DISTANCE OF 272.51 FEET TO A POINT FOR CORNER;

THENCE SOUTH 00 DEGREES 55 MINUTES 33 SECONDS EAST, A DISTANCE OF 195.47 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 42.73 FEET, A RADIUS OF 390.00 FEET, A CENTRAL ANGLE OF 06 DEGREES 16 MINUTES 37 SECONDS, AND A CHORD THAT BEARS SOUTH 04 DEGREES 03 MINUTES 52 SECONDS EAST, A DISTANCE OF 42.70 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 07 DEGREES 12 MINUTES 10 SECONDS EAST, A DISTANCE OF 3.01 FEET TO A POINT FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE NORTH 89 DEGREES 04 MINUTES 27 SECONDS EAST, WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 175.39 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 27 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 32.49 FEET TO A POINT FOR CORNER;

THENCE NORTH 89 DEGREES 01 MINUTES 44 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 89.22 FEET TO A POINT FOR CORNER;

THENCE SOUTH 01 DEGREES 15 MINUTES 48 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 22.71 FEET TO A POINT FOR CORNER;

THENCE NORTH 89 DEGREES 04 MINUTES 17 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 457.51 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 43 SECONDS WEST, A DISTANCE OF 182.10 FEET TO A POINT FOR CORNER;

THENCE NORTH 02 DEGREES 11 MINUTES 42 SECONDS EAST, A DISTANCE OF 473.52 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 25 MINUTES 08 SECONDS EAST, A DISTANCE OF 274.64 FEET TO A POINT FOR CORNER 5 FEET SOUTH OF THE SOUTH LINE OF SAID LAKEWOOD HILLS TRACT;

THENCE NORTH 80 DEGREES 53 MINUTES 43 SECONDS EAST, PARALLEL WITH SAID SOUTH LINE, A DISTANCE OF 758.65 FEET TO THE POINT OF BEGINNING AND CONTAINING 144.130 ACRES OF LAND, MORE OR LESS.

**NOTES:**

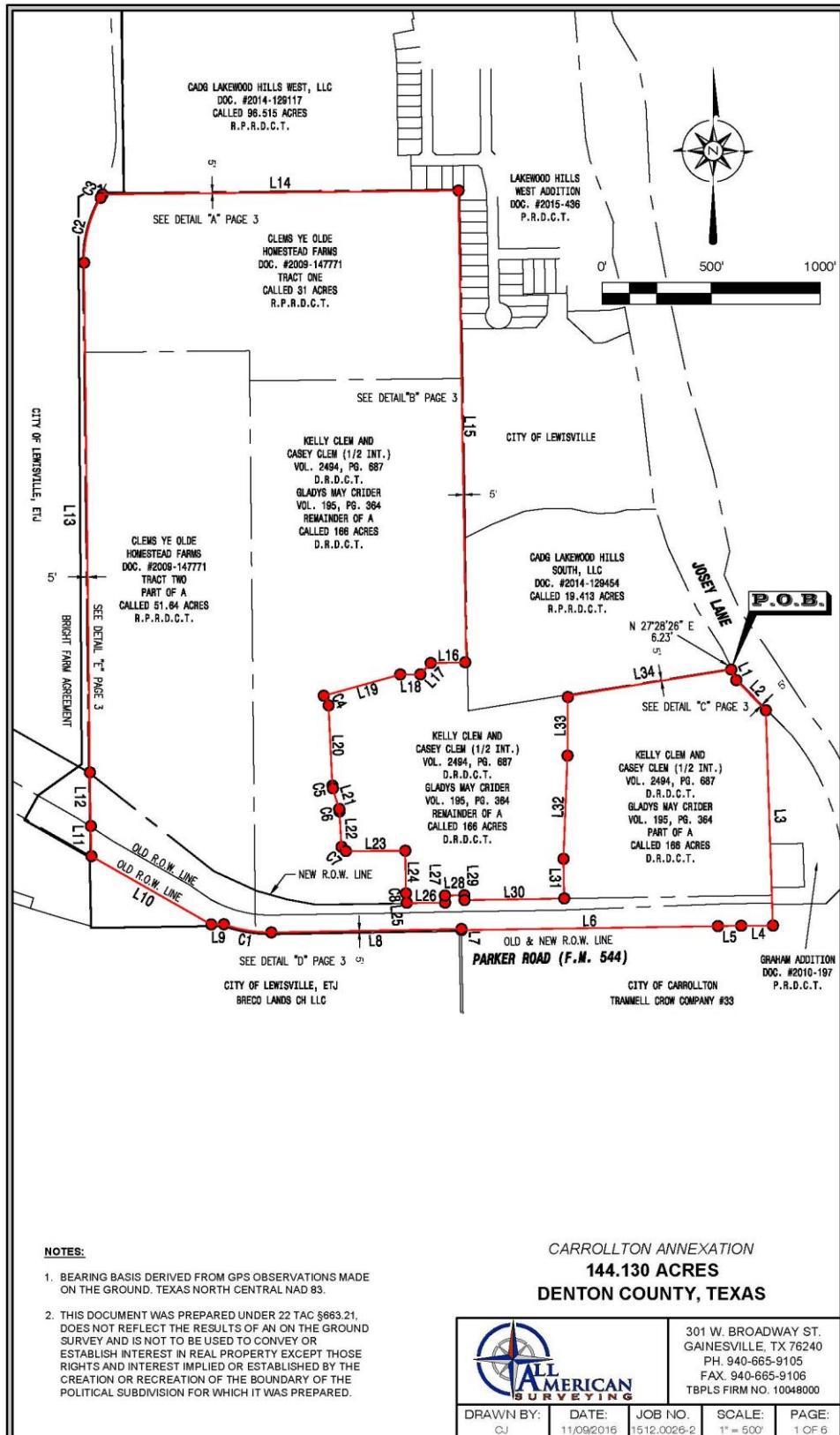
1. BEARING BASIS DERIVED FROM GPS OBSERVATIONS MADE ON THE GROUND. TEXAS NORTH CENTRAL NAD 83.
2. THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTEREST IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTEREST IMPLIED OR ESTABLISHED BY THE CREATION OR RECREATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

**CARROLLTON ANNEXATION  
144.130 ACRES  
DENTON COUNTY, TEXAS**

 <b>ALL AMERICAN SURVEYING</b>	301 W. BROADWAY ST. GAINESVILLE, TX 76240 PH. 940-665-9105 FAX. 940-665-9106 TBPLS FIRM NO. 10048000
DRAWN BY: <b>CJ</b>	DATE: <b>11/09/2016</b>
	JOB NO. <b>1512.0026-2</b>
	SCALE: <b>1" = 500'</b>
	PAGE: <b>6 OF 6</b>

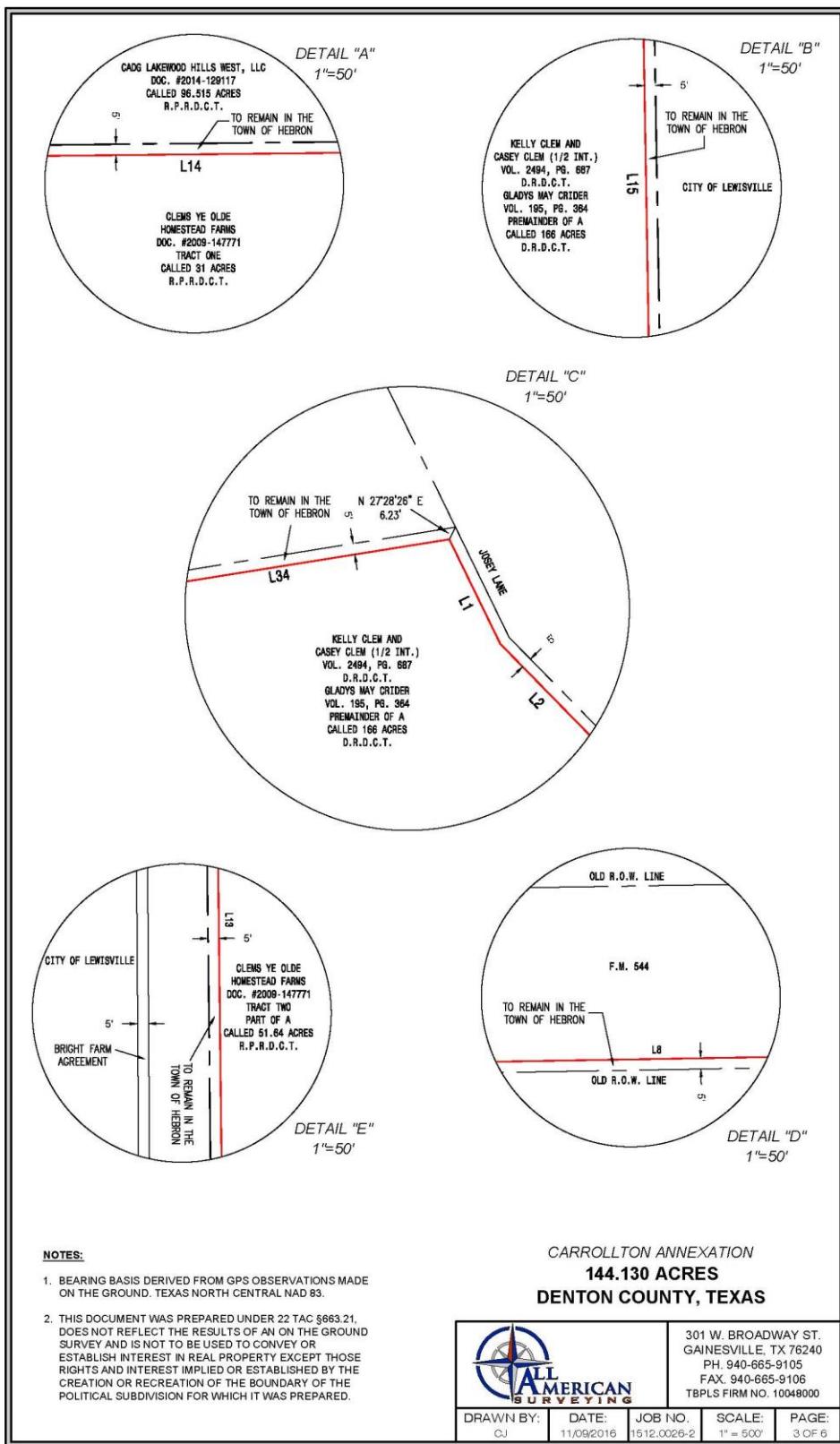
## EXHIBIT B

## Location



## EXHIBIT B

## Location



## EXHIBIT B

## Location

LINE	BEARING	DISTANCE
L1	S 25°56'50" E	53.29'
L2	S 44°23'30" E	194.15'
L3	S 01°51'21" E	987.78'
L4	S 89°38'18" W	145.73'
L5	S 89°06'26" W	106.25'
L6	S 89°06'15" W	1176.80'
L7	N 00°59'58" W	5.00'
L8	S 89°00'02" W	872.86'
L9	S 89°18'15" W	57.44'
L10	N 60°20'31" W	632.87'
L11	N 01°07'27" W	139.00'
L12	N 00°55'32" W	245.62'
L13	N 00°39'37" W	2338.14'
L14	N 89°23'57" E	1633.18'
L15	S 00°58'02" E	2163.83'
L16	S 88°42'42" W	163.66'
L17	S 42°55'38" W	69.88'
L18	S 89°25'50" W	92.18'
L19	S 74°24'19" W	364.91'
L20	S 02°44'36" E	369.26'
L21	S 16°57'44" E	98.33'
L22	S 03°13'09" E	162.93'
L23	N 89°40'39" E	272.51'
L24	S 00°55'33" E	195.47'
L25	S 07°12'10" E	3.01'
L26	N 89°04'27" E	175.39'
L27	N 00°55'27" W	32.49'
L28	N 89°01'44" E	89.22'
L29	S 01°15'48" E	22.71'
L30	N 89°04'17" E	457.51'
L31	N 00°55'43" W	182.10'
L32	N 02°11'42" E	473.52'
L33	N 00°25'08" E	274.64'
L34	N 80°53'43" E	758.65'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	608.02'	221.78'	220.55'	N 80°22'09" W	20°53'55"
C2	595.00'	310.66'	307.14'	N 14°15'51" E	29°54'53"
C3	605.00'	18.07'	18.07'	N 28°21'58" E	1°42'41"
C4	59.00'	50.72'	49.17'	S 27°22'09" E	49°15'07"
C5	50.00'	12.41'	12.38'	S 09°51'10" E	14°13'09"
C6	50.00'	11.99'	11.96'	S 10°05'27" E	13°44'35"
C7	20.00'	30.40'	27.56'	S 46°46'15" E	87°08'11"
C8	390.00'	42.73'	42.70'	S 04°03'52" E	6°16'37"

## NOTES:

1. BEARING BASIS DERIVED FROM GPS OBSERVATIONS MADE ON THE GROUND. TEXAS NORTH CENTRAL NAD 83.
2. THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTEREST IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTEREST IMPLIED OR ESTABLISHED BY THE CREATION OR RECREATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

## CARROLLTON ANNEXATION

144.130 ACRES  
DENTON COUNTY, TEXAS

DRAWN BY: CJ	DATE: 11/09/2016	JOB NO. 1512.0026-2	SCALE: 1" = 500'	PAGE: 2 OF 6
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301 W. BROADWAY ST.  
GAINESVILLE, TX 76240  
PH. 940-665-9105  
FAX. 940-665-9106  
TBPLS FIRM NO. 10048000

## EXHIBIT C

### **MUNICIPAL SERVICE PLAN**

#### **FIRE AND POLICE**

*Existing Services:* EMS service

*Services to be Provided:* Fire suppression and EMS service will be available to the area upon annexation. Primary fire response will be provided by Fire Station No. 7, located at 4750 N. Josey Lane and secondary response by Fire Station No. 4, located at 2155 E. Rosemeade Parkway. Adequate fire suppression activities can be afforded to the annexed area within current budget appropriation. Fire prevention activities will be provided by the Fire Marshal's office as needed.

Currently, the area is under the jurisdiction of the Denton County Sheriff's Office. However, upon annexation, the City of Carrollton Police Department will extend regular and routine patrols to the area. It is anticipated that the implementation of police patrol activities can be effectively accommodated within the current budget and staff appropriation.

#### **BUILDING INSPECTION**

*Existing Services:* None

*Services to be Provided:* The Building Inspection Department will provide Code Enforcement Services upon annexation. This includes issuing building, electrical and plumbing permits for any new construction and remodeling, and enforcing all other applicable codes which regulate building construction within the City of Carrollton.

#### **PLANNING AND ZONING**

*Existing Services:* None

*Services to be Provided:* The Planning Department's responsibility for regulating development and land use through the administration of the City of Carrollton's Comprehensive Zoning Ordinance will extend to this area on the effective date of the annexation. The property will also continue to be regulated under the requirements of the City of Carrollton's Comprehensive Subdivision Ordinance. These services can be provided within the department's current budget.

#### **LIBRARY**

*Existing Services:* None

*Services to be Provided:* Upon the effective date of annexation, free library use privileges will be available to anyone residing in this area. These privileges can be provided within the current budget appropriation.

## **ENVIRONMENTAL CODE ENFORCEMENT**

*Existing Services:* None

*Services to be Provided:* The Environmental Services Department will implement the enforcement of the City's environmental ordinances and regulations on the effective date of the annexation. Such services can be provided with current Environmental Services Personnel and within the current budget appropriation. In addition, animal control services will be provided to the area as needed.

## **STORM WATER MANAGEMENT**

*Existing Services:* None

*Services to be Provided:* Developers will provide storm water drainage at their own expense and will be inspected by the City Engineers at time of completion. The City will then maintain the drainage upon approval.

## **WATER AND SANITARY SEWER SERVICE**

*Existing Services:* Yes

*Services to be Provided:* Water service to the area will be provided in accordance with the applicable codes and departmental policy. When other property develops in the adjacent area, water service shall be provided in accordance with extension ordinances. Extension of service shall comply with City codes and ordinances.

Sanitary sewer service to the area of proposed annexation will be provided in accordance with applicable codes, Carrollton General Design Standard (GDS) and departmental policy. When property develops in the adjacent areas, sanitary sewer service shall be provided in accordance with the present extension ordinance. Extension of service shall comply with applicable codes and ordinances.

## **SOLID WASTE SERVICES**

*Existing Services:* None

*Services to be Provided:* Solid Waste Collection shall be provided to the area of annexation in accordance with the present ordinance. Service shall comply with existing City policies, beginning with occupancy of structures.

## **MISCELLANEOUS**

All other applicable municipal services will be provided to the area in accordance with the City of Carrollton's established policies governing extension of municipal services to newly annexed areas.





# City of Carrollton

## Agenda Memo

File Number: 3135

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**Agenda Date:** 2/28/2017

**Version:** 1

**Status:** Public  
Hearing/Individual  
Consideration

**In Control:** City Council

**File Type:** Public Hearing

**Agenda Number:** 4.

**CC MEETING: February 28, 2017**

**DATE:** February 17, 2017

**TO:** Erin Rinehart, City Manager

**FROM:** Loren Shapiro, Chief Planner

Hold A Public Hearing And Consider A Resolution To Amend The Comprehensive Plan And The Future Land Use Map On A 144.13-Acre Site Generally Located Northwest Of The Intersection Of Parker Road/FM 544 And Josey Lane To Single-Family Detached Residential, Multi-Family, And Open Space. Case No. 02-17MD2 Castle Hills, Phase 10 (Comp Plan).

### BACKGROUND:

This is a request for an amendment to the Comprehensive Plan and Future Land Use Map to establish land use designations for a 144.13-acre site. Single-family detached residential is proposed for the western portion of the site and multi-family is proposed for approximately 21 acres near the northwest corner of the intersection of FM 544 (Parker Road) and Josey Lane. Open space will be designated for floodplain areas around Indian Creek.

A companion case (Case No. 01-17MD1 Castle Hills-Clem Tract (Annexation), which presents an ordinance annexing the property into the city is also on this agenda. The annexation is required prior to City Council taking action on the Comprehensive Plan amendment.

A companion request to establish the zoning on the property is also on this agenda (Case No. 02-17Z2 Castle Hills Ph. 10 (Zoning)).

### FINANCIAL IMPLICATIONS:

There are no financial implications on the current or future operating budgets regarding this request.

### STAFF RECOMMENDATION/ACTION DESIRED:

On February 2, 2017 the Planning & Zoning Commission unanimously recommended **APPROVAL** of amending the Future Land Use Plan establishing single-family detached and

multi-family residential and open space. No public opposition was received at the Planning and Zoning Commission public hearing. The attached resolution reflects the action of the Commission.

## **RESULT SHEET**

**Date: 02/17/17**

**Case No./Name:** Case No. 02-17MD2 Castle Hills, Phase 10 (Comp Plan)

**A. STAFF STIPULATIONS AND RECOMMENDATIONS**

Staff recommends **APPROVAL** of the Comprehensive Plan amendment with the following stipulation:

1. City Council adoption of an ordinance annexing the property into the City of Carrollton.

**B. P&Z RECOMMENDATION** from P&Z meeting: 02/02/17

Result: **APPROVED** /Vote: 8-0 (Romo absent)

**C. CC PUBLIC HEARING** from CC meeting: 02/28/17

Result: /Vote:

**COMPREHENSIVE PLAN (LAND USE AMENDMENT)**

Case Coordinator: Loren Shapiro

**GENERAL PROJECT INFORMATION**

**Land Use:** The property is currently outside the city limits. Two companion cases are on the agenda for the subject property. The first case is to recommend adopting an ordinance annexing the subject property, and the second, to establish zoning for the same property.

<b><u>SURROUNDING ZONING</u></b>	<b><u>SURROUNDING LAND USES</u></b>
NORTH City of Lewisville	Undeveloped/Single-Family Detached
SOUTH (O-2) Office District	Undeveloped
EAST (LR-2) Local Retail District, Town of Hebron, & City of Lewisville	Undeveloped/Retail
WEST Town of Hebron & City of Lewisville	Undeveloped

NORTH City of Lewisville	Undeveloped/Single-Family Detached
SOUTH (O-2) Office District	Undeveloped
EAST (LR-2) Local Retail District, Town of Hebron, & City of Lewisville	Undeveloped/Retail
WEST Town of Hebron & City of Lewisville	Undeveloped

**REQUEST:** Amendment to the Comprehensive Plan and Land Use Map to establish land use designations for Single-Family Detached and Multi-Family Residential and Open Space

**PROPOSED USE:** Single-Family Detached and Multi-Family Residential and Open Space (in flood plain)

**ACRES/LOTS:** 145-acres/3 tracts

**LOCATION:** Northwest of the intersection of Parker Road (FM 544) and Josey Lane

**HISTORY:** The property was previously in the Town of Hebron and is vacant. Tooth Acres Pet Center is located between the proposed single-family and multi-family tracts. The Town of Hebron disannexed the property on January 2, 2017.

Companion cases to annex and establish zoning for the subject tract is also on this agenda (Case Nos. 01-17MD1 Castle Hills-Clem Tract (Annexation) and 02-17Z2 Castle Hills, Phase 10 (Zoning).

**COMPREHENSIVE PLAN:** None established

**TRANSPORTATION PLAN:** Parker Road and Josey Lane are designated as an (A6D) Six-Lane Divided Arterial.

**OWNER:** Clem's Ye Olde Homestead Farms, Ltd.

**REPRESENTED BY:** CH PH 10, LLC.

### **STAFF ANALYSIS**

#### **PROPOSAL/REQUEST**

- The applicant is requesting a change in the land use designation for three tracts totaling approximately 145 acres. Single-Family Detached is proposed for the western 2/3 of the overall site and Multi-Family for approximately 21 acres near the northwest intersection of FM 544 (Parker Road) and Josey Lane. The Indian Creek floodplain (approximately 35.71 acres) would be designated open space.
- The applicant proposes 283 single-family detached lots and multi-family on approximately 21 acres.
- Companion cases, an ordinance annexing and zoning change request are on this agenda (01-17MD1 Castle Hills-Clem Tract (Annexation) and 02-17Z2 Castle Hills, Ph. 10 (Zoning)).
- The subject property was located in the Town of Hebron. An ordinance to disannex from Hebron was approved on January 2, 2017.
- City Council adoption of an ordinance annexing the property is necessary prior to approval of a resolution amending the Comprehensive Plan.

#### **SITE ELEMENTS**

- Access into the site would be from Parker Road (FM 544) to the south. Additionally, Josey Lane will provide access to the proposed multi-family tract.
- Parker Road and Josey Lane abutting the subject tract are in the Town of Hebron. Parker Road is a state road and is currently under construction. The proposed annexation request will include future Parker Road right-of-way.
- Parker Road is under construction by TxDOT. The right-of-way will meet the Thoroughfare Plan upon completion.
- Tooth Acres Pet Care Center is located in- between the proposed single-family detached and multi-family tracts. Tooth Acres is located in the Town of Hebron. The pet care center is not included in the annexation request.

## **COMPREHENSIVE PLAN ELEMENTS**

The Comprehensive Plan describes the Single-Family Detached Residential, and Multi-Family category as follows:

**Single-Family Residential (0-6 Dwelling Units Per Net Acre).** This category represents conventional single-family detached development, where basic neighborhood units would be created through the inclusion of schools, churches, and public parks. When land within developed areas is dedicated to rights-of-way, easements, parks, etc., the typical development density is between three and five dwelling units per acre. Appropriate zoning districts may include Single-Family (SF-12/20) through (SF-6.5/12) Single-Family Patio Home (SF-PH), and Planned Development (PD) with one or more of these uses.

(Note: The (SF-5/12) Single-Family Residential District is essentially equivalent to the (SF-PH) Patio Home District in the Comprehensive Zoning Ordinance.)

**Multi-Family Residential (12+ Dwelling Units Per Net Acre).** This category represents conventional, higher-density multi-family development, whether intended to be renter-occupied (apartments) or owner-occupied (condominiums), and which are characterized by two- to three-story structures, depending on the applicable zoning district. Although this type of development traditionally serves as a transition between lower-density residential areas and commercial or industrial areas, it is still a residential use and should therefore be properly buffered from incompatible non-residential uses and appropriately sited regarding traffic circulation and access. Appropriate zoning districts may include Multi-Family (MF-12, MF-15, MF-18) and Planned Development (PD) with one or more of these uses.

**The following policies found in the Comprehensive Plan form the intention of the City Council regarding development issues within the City related to the subject site:**

### **URBAN FORM**

LU-8 Encourage mixed-uses and urban housing within a five-to-ten-minute walk from the downtown area.

*This site is not near downtown Carrollton. Accordingly, high-density, mixed uses are probably not appropriate at this location.*

LU-9 As conditions change and alternative land uses are considered, stable single-family neighborhoods should be preserved.

*Existing single-family developments are to the north, west, and south of the Gulf, Colorado, and Santa Fe Railroad.*

LU-10 Infill development that is compatible and complementary with the character of the surrounding neighborhood or area should be encouraged.

*While not technically “infill,” the subject site is in an area of transition from very low density, semi-rural to a more conventional suburban development pattern. Development as proposed would be in accordance with longer term changes occurring in the immediate area.*

LU-14 "Urban" residential development should be concentrated in areas with transit, retail and employment opportunities within easy walking distance.

*This site is not near any transit stations. Accordingly, “urban” residential uses are probably not appropriate at this location.*

### **INFILL RESIDENTIAL AND COMMERCIAL**

LU-29 Ensure that existing neighborhoods are well maintained by:

- a. Utilizing code enforcement in combination with community groups to ensure that properties do not negatively affect surrounding areas.
- b. Maintaining landscaping and buffering requirements between residential and incompatible land uses, as set out in the Zoning Ordinance.
- c. Maintaining infrastructure (such as roads, drainage, parks, and sidewalks) in older areas in good condition to encourage a similar level of maintenance of private properties.

*The zoning regulations proposed and subdivision design and engineering will ensure minimal impacts.*

LU-30 Ensure that infill land uses are compatible with the area by either being similar to surrounding uses, or by being supportive to the neighborhood.

*The proposed single-family detached and multi-family would be compatible with the surrounding land uses and anticipated residential to be developed nearby.*

### **URBAN CENTERS**

UD-5 All on-site drainage features should be treated in a natural manner so that they create an amenity.

- a. Water detention facilities should be treated with soft edges, using natural materials such as stone and vegetation for erosion control.
- b. Headwalls should be faced with natural stone when visible from public areas.
- c. Drainage courses should use vegetation, stone, and soil engineering (soil lifts and plant material used in a structural manner) as appropriate, rather than concrete for erosion control.

*The proposed development will utilize natural features including the creek and drainage area as open space and trails. The Indian Creek floodplain will be designated Open Space with the proposed future land use amendment.*

UD-8 Development standards should be established for "urban center" areas that reflect an urban "walkable" style of development

*and*

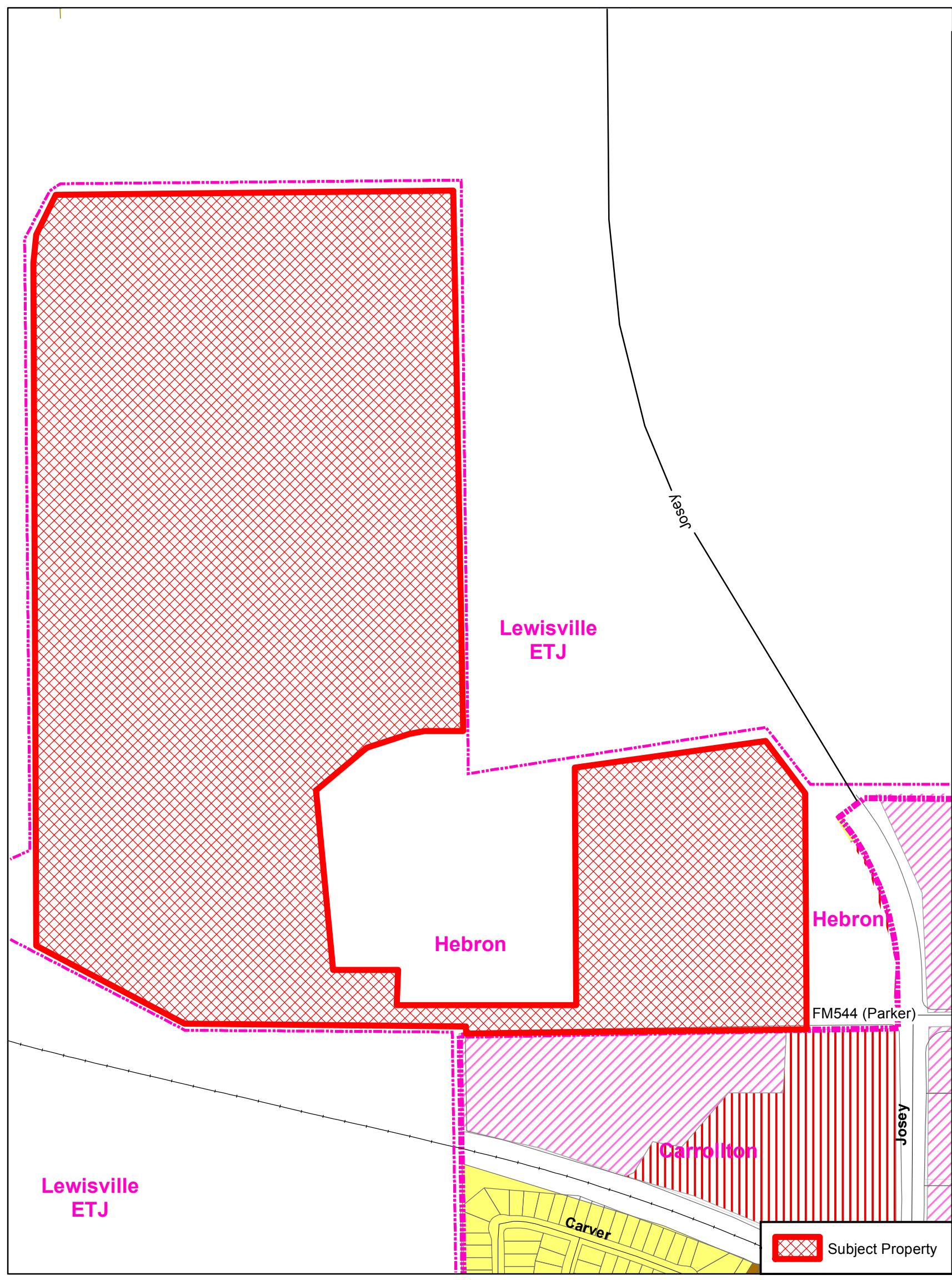
UD-10 Work with property owners to ensure that pedestrian-oriented, mixed-use development occurs within approximately one-half mile of transit stations. This may include:

- a. Retail uses at ground level along pedestrian corridors
- b. Establishing incentives and programs for this style of development
- c. Purchasing key parcels of land on an opportunity basis

*This site is not near a transit station. Accordingly, high-density, mixed uses are not appropriate at this location.*

## **CONCLUSION**

The proposed changes to the future land use map appear appropriate and consistent with the proposed zoning with the accompanying Case No. 02-17Z2 Castle Hills, Phase 10 (Zoning).



Lewisville  
ETJ

Hebron

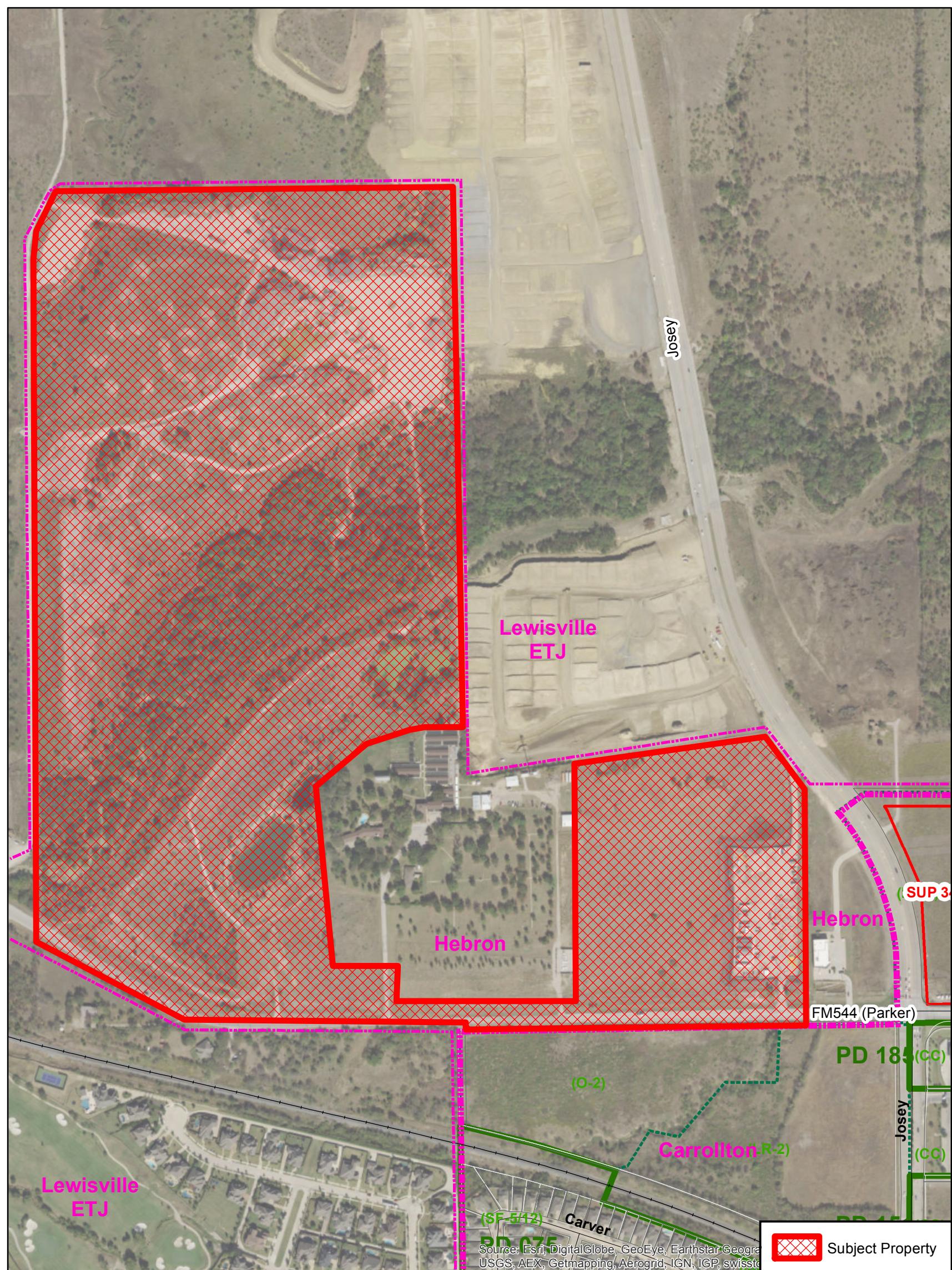
FM544 (Parker)

Carrollton

Carver

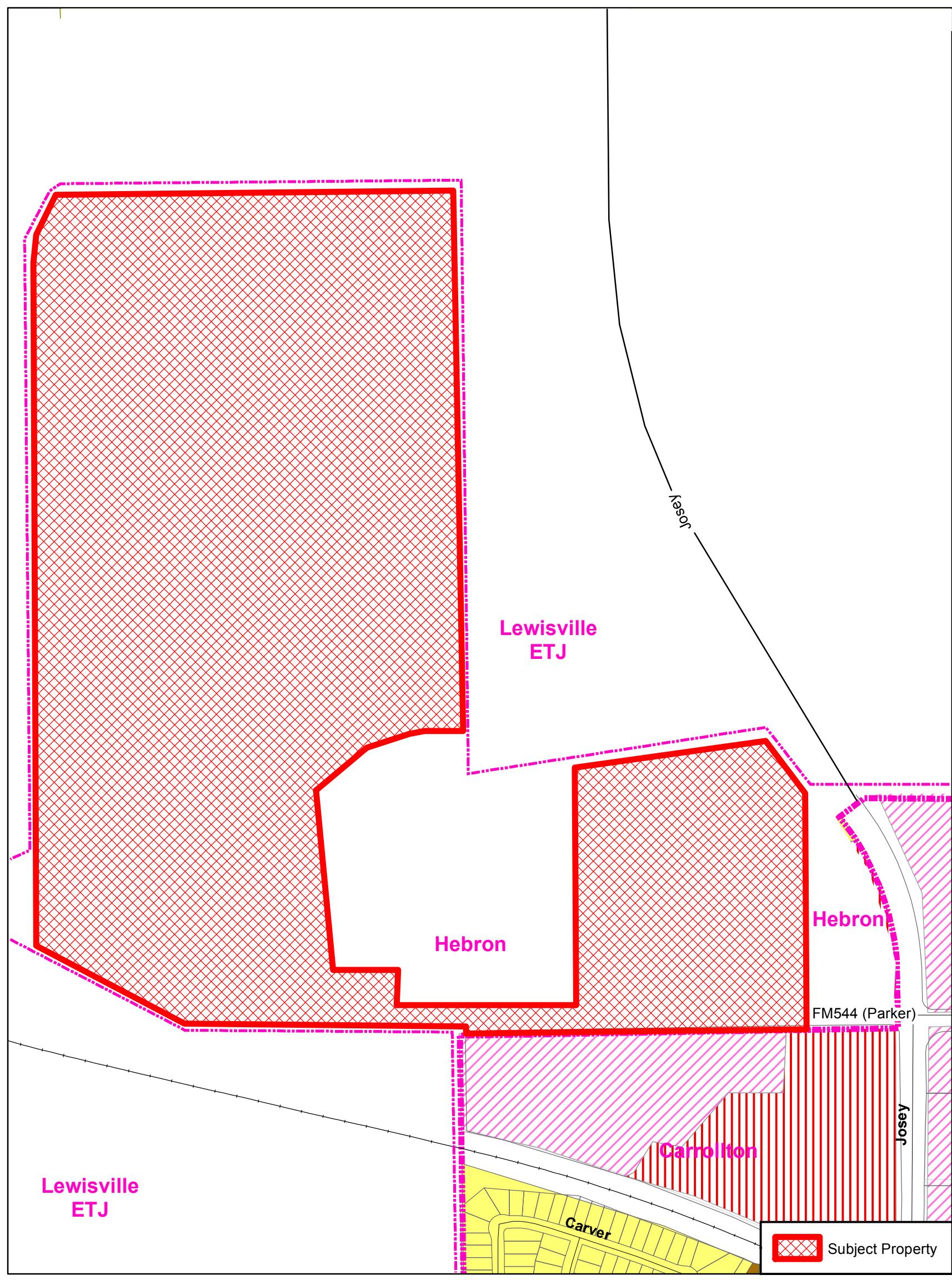
Josey

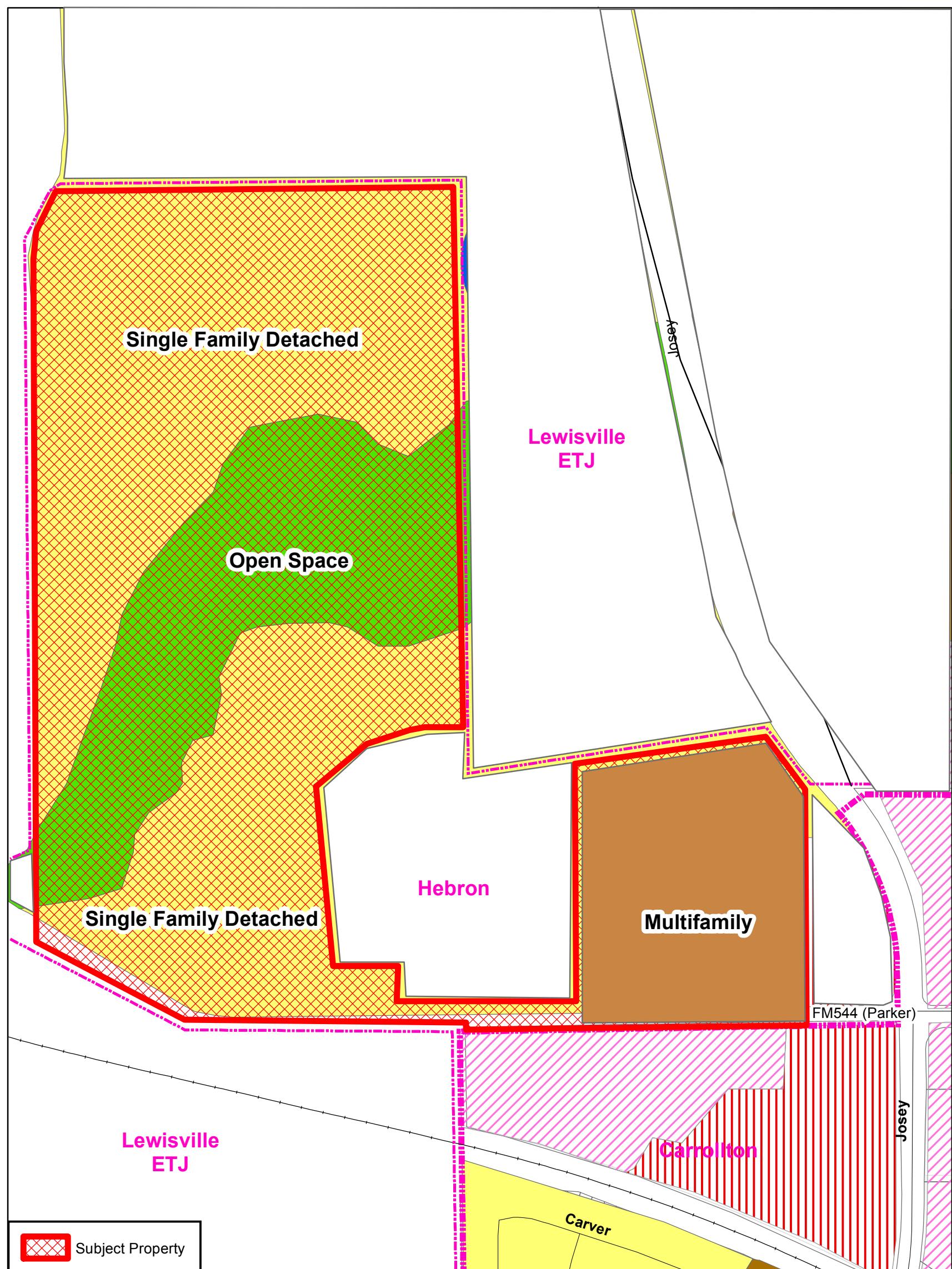
 Subject Property



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geogra  
USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo







## Subject Property

## DRAFT PLANNING & ZONING COMMISSION MINUTES

FEBRUARY 2, 2017

Public Hearing To Consider And Act On A Resolution To **Amend The Comprehensive Plan And The Future Land Use Map** On An Approximately 145-Acre Site Located Northwest Of The Intersection Of Parker Road (544) And Josey Lane To Single-Family Detached, Multi-Family, And Open Space. **Case No. 02-17MD2 Castle Hills, Phase 10 (Comp Plan)**. Case Coordinator: Loren Shapiro.

Public Hearing To Consider And Act On An Ordinance **Establishing Zoning On A Proposed Annexation Tract** Located On Approximately 145-Acres Northwest Of The Intersection Of Parker Road (544) And Josey Lane As A (PD) Planned Development District To Allow For (SF5/12) Single Family Residential And (MF-18) Multi-Family Residential Districts With Development Standards; Amending The Official Zoning Map Accordingly. **Case No. 02-17Z2 Castle Hills 10 -Clem Tract (Zoning)**. Case Coordinator: Loren Shapiro.

Chair Averett advised that Items 7 and 8 would be heard simultaneously but would be acted on with separate motions.

Shapiro advised that the subject property of the two cases was not yet within the Carrollton city limits but were being considered for annexation by the City Council with the first public hearing having been held on January 24, 2017 and the second scheduled to be held on February 7, 2017. The final annexation ordinance was scheduled for adoption on February 28. The applicant proposes to establish single family land use on the western portion with open space running through the middle. Near the intersection of Josey Lane and Parker Road, the applicant is seeking to establish multi-family land use. With regard to zoning, the applicant proposed single family zoning with four different types of single family detached product that would all be front loaded with reduced front yard setbacks. The proposal includes enhanced landscaping throughout the development along the perimeter main streets of 544/Parker Road as well as along Josey Lane. He provided conceptual elevations for each of the four types of product.

Aaron Ketchand, 2520 King Arthur Blvd., Lewisville, representing Bright Realty, stated they were requesting very similar criteria as approved for Singer Ranch and was subject to annexation, Comprehensive Plan, zoning and preliminary plat approvals. He stated the development is a joint venture with the Clem family and the intention is to close on the property and begin construction by late summer with expectation to deliver the first lots in the first quarter of 2019. The similarities are lot type, lot size and product type and the difference is this would be much less dense than Singer Ranch. He reviewed the Master Trail Plan noting trail connectivity across Old Denton that would ultimately tie into the Indian Creek Trail system to the south. He explained that they request the park fee be waived because of the amount of amenities and trails available to the homeowners of Castle Hills and the public. He stated the trails would be a public amenity that the City would not have to pay for. He stated they would be tying the area north of Indian Creek through Lewisville Road connections and advised that most of the density would be adjacent to the pet cemetery with the least amount of density on the peninsula to the north of Indian Creek.

Eric Stanley, 800 Sir Galahad, Lewisville, representing Castle Hills, did not offer a presentation but was available to answer questions.

John Denholm stated concern regarding the setbacks proposed and how realistic it is for people parking in the driveway and noting the narrow lots. He voiced concern with blocking of sidewalks due to the narrow depth between the sidewalk and garage. Mr. Stanley advised that through a strict

## DRAFT PLANNING & ZONING COMMISSION MINUTES

FEBRUARY 2, 2017

interpretation of the HOA rules, parking is only allowed in the garage and he talked about enforcement of the rules and restrictions. In asking about the public having access to the amenities, Mr. Denholm noted signage at various amenities in Castle Hills that reads “residents only.” Mr. Stanley stated there is signage that tends to dissuade the public but was not doable noting that at Lake Avalon Park on 4<sup>th</sup> of July most of the people are not Castle Hills residents. He clarified that particular areas that are behind the gate are restricted to residents only such as the pool and tennis facilities, but the park areas are for anyone’s use. Mr. Denholm noted the small minimum side yard setback of 5 ft. or 2 and 8 ft. on the 41 ft. and 50 ft. product and asked about the ability to maintain that area. Mr. Stanley replied that the reason for it was to have the ability of J swing garages and those areas have gravel and a French drain for essentially a zero maintenance area.

Chair Averett opened the public hearing and invited speakers to address the Commission. There being no speakers, he offered the applicant an opportunity for closing remarks to which there were none.

*\*Chrisman moved to close the public hearing and amend the Comprehensive Plan and Future Land Use Map, Case No. 02-17MD2 Castle Hills Phase 10 with staff stipulations; second by Chadwick and the motion was approved with a unanimous 8-0 vote.*

*\*Chadwick moved to close the public hearing and moved approval of Case No. 02-17Z2 Castle Hills 10-Clem Tract with stipulations; second by Kiser and the motion was approved with a 7-1 vote, Denholm opposed.*

Resolution No. \_\_

PLANNING  
DEPARTMENT  
City of Carrollton  
Date: 02/28/2017

DEVELOPMENT NAME:  
Castle Hills, PH 10 (Comprehensive Plan)

RESOLUTION NUMBER \_\_\_\_\_

RESOLUTION NUMBER \_\_\_\_\_ OF THE CITY COUNCIL OF THE CITY OF CARROLLTON, TEXAS AMENDING THE COMPREHENSIVE PLAN ADOPTED BY RESOLUTION NUMBER 2672 ON FEBRUARY 18, 2003, TO ESTABLISH THE LAND USE DESIGNATION FOR AN APPROXIMATELY 145-ACRE TRACT OF LAND NORTHWEST OF THE INTERSECTION OF PARKER ROAD (544) AND JOSEY LANE TO SINGLE-FAMILY DETACHED RESIDENTIAL, MULTI-FAMILY RESIDENTIAL, AND OPEN SPACE USES; AMENDING ACCORDINGLY THE FUTURE LAND USE MAP; PROVIDING SAVINGS AND SEVERABILITY CLAUSES; AND PROVIDING FOR AN EFFECTIVE DATE ON AND AFTER ITS ADOPTION.

WHEREAS, the Planning & Zoning Commission reviewed and studied an amendment to the Comprehensive Plan (Case No. 02-17MD2); and

WHEREAS, the Planning & Zoning Commission conducted a public hearing on February 2, 2017 and after all persons were given an opportunity to present testimony, considered and recommended the following change regarding an appropriate future land use; and

WHEREAS, the City Council conducted a public hearing on February 28, 2017, at which all persons were given an opportunity to present testimony; and

WHEREAS, the amendment is in accordance with the goals, objectives and policies of the Comprehensive Plan, adopted by Resolution Number 2672 on February 18, 2003, as amended; and

WHEREAS, the City Council has concluded that the amendment to the Plan is in the best interest of the city and is for the purpose of protecting the health, safety, and general welfare of the city and its citizens.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF CARROLLTON, TEXAS, THAT:

Section I.

All of the above premises are found to be true and correct legislative and factual findings of the City Council, and they are hereby approved, ratified and incorporated into the body of this Ordinance as if copied in their entirety.

Resolution No.

Section 2.

The 2003 Comprehensive Plan is hereby amended for only that approximately 145-acre tract of land located northwest of the intersection of Parker Road (544) And Josey Lane not previously a designated land use on the attached Exhibit A, by establishing said tract to provide for the Single Family Detached and Multi-Family Residential and Open Space land use designations as identified on Exhibit B. This amendment, collectively with all other existing Comprehensive Plan provisions will constitute the Comprehensive Plan for all matters related to long-range guidance relative to zoning decisions, land subdivision, thoroughfare construction and growth management on such property.

Section 3.

An amendment to the Future Land Use Map of the City's Comprehensive Plan for said tract, which amendment is attached hereto as Exhibit B and incorporated herein for all purposes, is hereby adopted by the City Council.

Section 4.

Save and except as amended herein, the Comprehensive Plan adopted on February 18, 2003 by Resolution Number 2672, as amended, shall remain in full force and effect.

Section 5.

The provisions of this resolution are severable. If any section, sub-section, paragraph, clause, phrase or provision of this resolution or its application to any person or circumstance shall be adjudged or held invalid, that invalidity shall not affect the provisions that can be given effect without the invalid provision or application.

Resolution No.

Section 6.

This resolution shall become and be effective on and after its adoption.

PASSED AND APPROVED this the Twenty-eighth day of February, 2017.

**CITY OF CARROLLTON**

By: \_\_\_\_\_  
Doug Hrbacek, Mayor Pro Tem

ATTEST:

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Laurie Garber  
City Secretary

APPROVED AS TO FORM:

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Susan Keller  
Assistant City Attorney

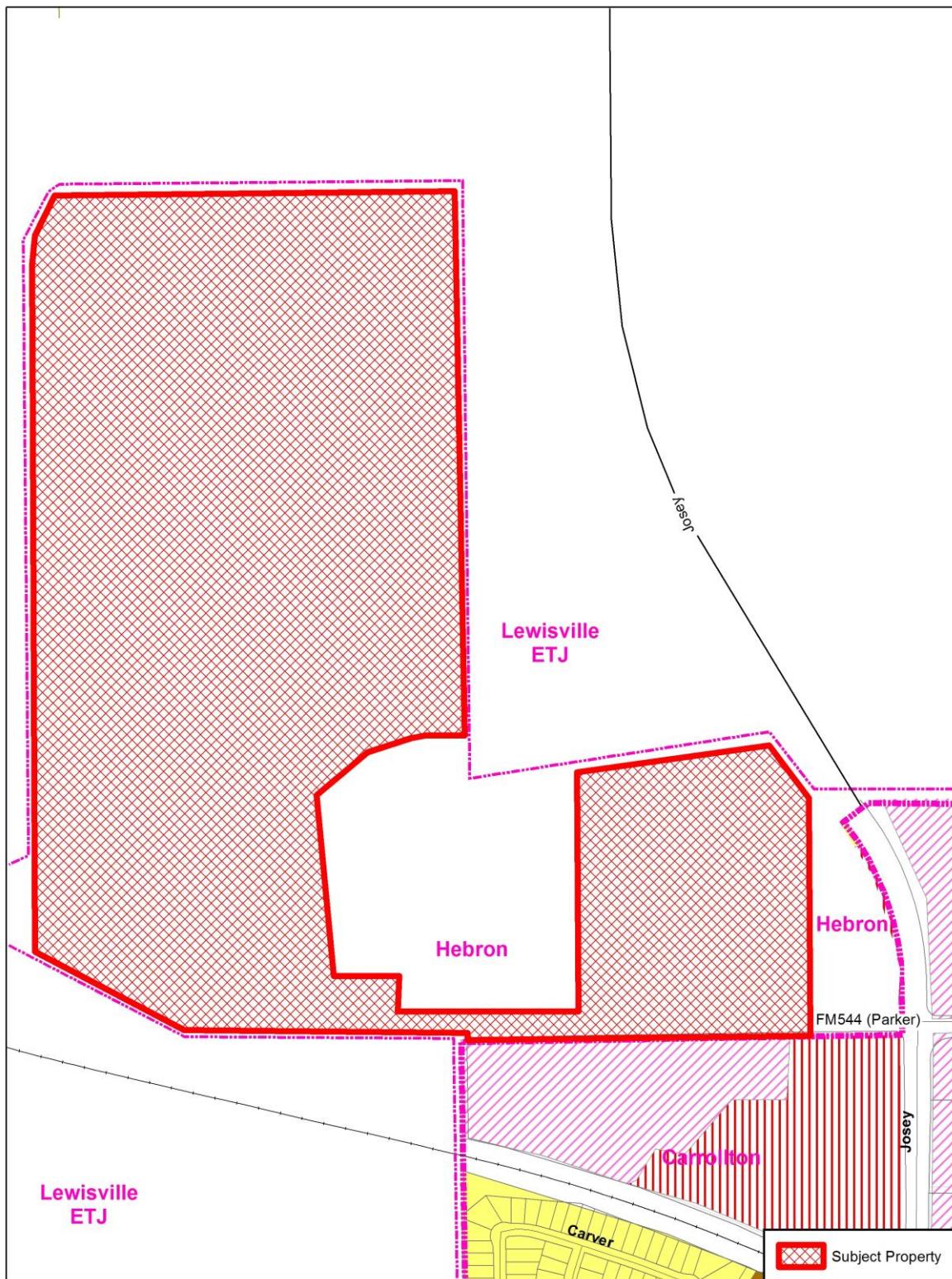
APPROVED AS TO CONTENT:

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Loren Shapiro  
Chief Planner

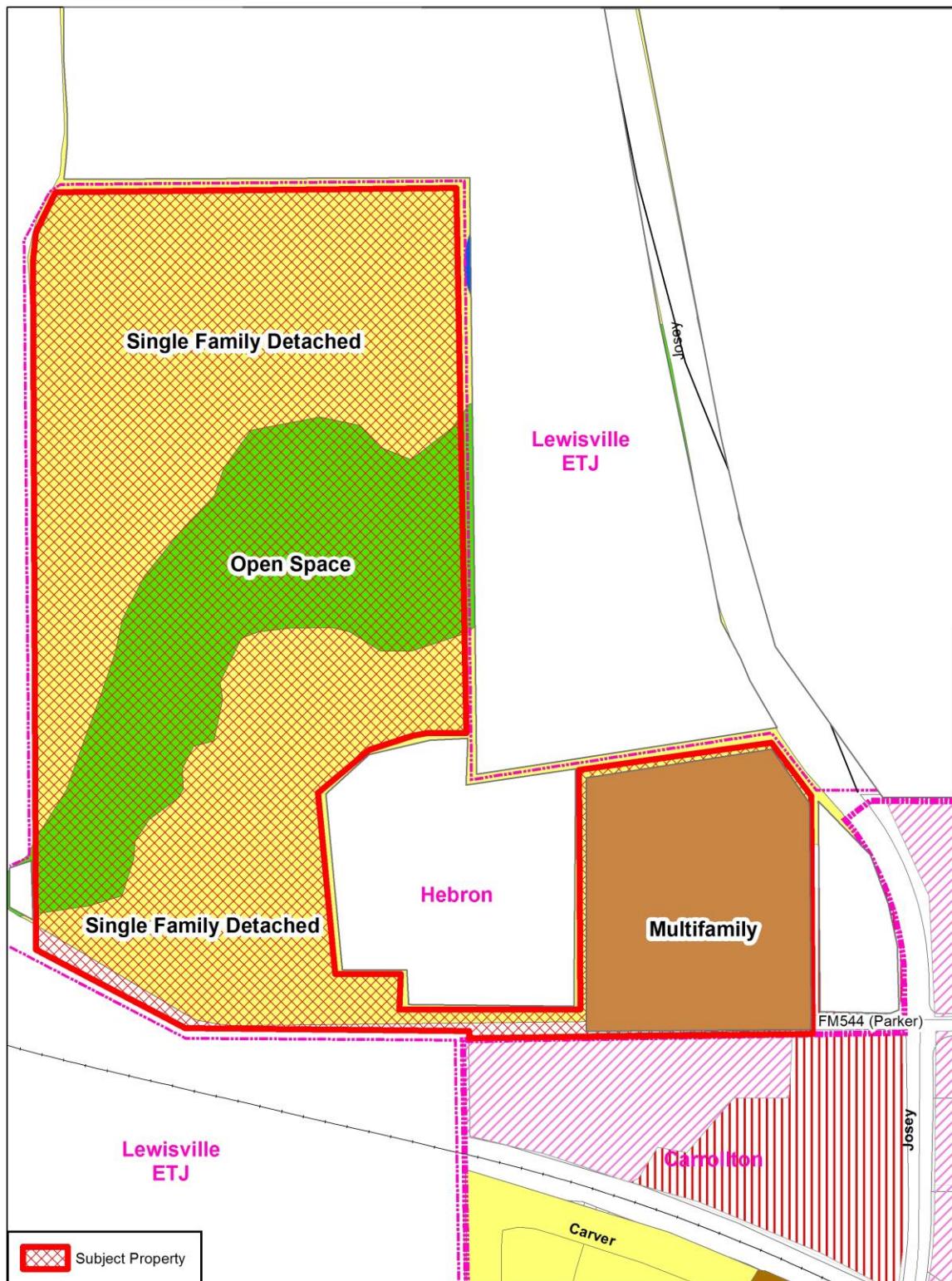
Resolution No.

EXHIBIT A



Resolution No.

EXHIBIT B







# City of Carrollton

## Agenda Memo

File Number: 3136

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**Agenda Date:** 2/28/2017

**Version:** 1

**Status:** Public  
Hearing/Individual  
Consideration

**In Control:** City Council

**File Type:** Public Hearing

**Agenda Number:** 5.

**CC MEETING: February 28, 2017**

**DATE:** February 17, 2017

**TO:** Erin Rinehart, City Manager

**FROM:** Loren Shapiro, Chief Planner

Hold A Public Hearing And Consider An Ordinance Establishing Zoning On A Proposed 144.13-Acre Annexation Tract Located Near The Northwest Corner Of The Intersection Of Parker Road/FM 544 And Josey Lane; Proposing Establishment Of A (PD) Planned Development District To Allow For The (SF-5/12) Single-Family Detached Residential And (MF-18) Multi-Family Residential Districts With Development Standards; Amending The Official Zoning Map Accordingly. Case No. 02-17Z2 Castle Hills 10 - Clem Tract (Zoning).

### BACKGROUND:

This is a request to establish the zoning on a proposed annexation tract of 144.13-acres to a Planned Development District (PD) for the (SF-5/12) Single-Family Residential and (MF-18) Multi-Family Residential Districts with development standards.

A companion case on this agenda (Case No. 01-17MD1 Castle Hills-Clem Tract (Annexation) is an ordinance annexing the property into the city. A companion request to amend the Comprehensive Plan and Future Land Use Map is also on this agenda (Case No. 02-17MD2 Castle Hills Ph. 10 (Comp-Plan)). Approval of the annexation and Comprehensive Plan amendment are required prior to City Council approval of the zoning request.

### FINANCIAL IMPLICATIONS:

There are no financial implications on the current or future operating budgets regarding this request.

### STAFF RECOMMENDATION/ACTION DESIRED:

On February 2, 2017 the Planning and Zoning Commission recommended **APPROVAL** of the zoning request with a 7-1 vote.

No public comments were received by staff. However, this item is being placed on the Public Hearing - Individual Consideration portion of the agenda, as the Commission's vote was not unanimous. The Commission did not change staff-recommended development regulations for the planned development. Therefore, the attached ordinance reflects the action of the Commission and staff recommendations.

## RESULT SHEET

**Date: 02/17/17**

**Case No./Name:** 02-17Z2 Castle Hills, Phase 10 (Zoning)

### A. STIPULATIONS AND RECOMMENDATIONS

Staff recommends **APPROVAL** to establish zoning on the subject property to (PD) Planned Development District for the (SF-5/12) Single-Family Residential and (MF-18) Multi-Family Residential Districts with the following stipulations:

1. City Council adoption of an ordinance annexing the subject property into the city.
2. City Council adoption of a resolution amending the Comprehensive Plan changing the land uses to Single-Family Detached and Multi-Family Residential.
3. Proposed Planned Development Standards for subject property (contained in the proposed ordinance):

#### I. General Regulations for Tracts 1 and 2:

- A. Development shall be in accordance with the Conceptual Site Plan attached hereto and incorporated herein as Exhibit C.
- B. An "entry ribbon" consisting of decorative concrete pavers shall be placed in each driveway or street intersecting with FM 544 and Josey Lane. Said entry ribbon shall be no less than ten feet (10') in depth and shall extend across the width of the street and shall generally align with the abutting sidewalk.
- C. Landscaping and perimeter screening walls and entry signs along FM 544 or Josey Lane shall be provided in accordance with the Conceptual Landscape Plan and Buffering Plan; and the Conceptual Entry Wall & Sign exhibits attached hereto and incorporated herein as Exhibits D and E respectively.
- D. No tree survey shall be required and all tree preservation or remediation that might be required are addressed by the planting of street trees, buffer trees within the Parker Road and Josey Lane buffer areas, entry trees, parkway trees, homebuilder planted trees on lots, etc.

#### II. Tract 1 – Permitted Uses

Permitted uses shall be all principal and accessory uses which are allowed by right in the (SF-5/12) Single Family Residential District, in accordance with Article V of the Comprehensive Zoning Ordinance, as amended, and shall be developed in accordance with all applicable regulations of the (SF-5/12) Single Family Residential District and the Comprehensive Zoning Ordinance, as amended, except as otherwise provided in Section II below.

A Special Use Permit shall be required for all uses otherwise requiring a Special Use Permit in the (SF-5/12) Single Family Residential District, in accordance with Article V of the Comprehensive Zoning Ordinance, as amended. Such Special Use Permit(s) shall be subject to the conditions established in Articles XXI and XXXI of the Comprehensive

Zoning Ordinance, as amended, and shall be developed in accordance with all applicable regulations.

### III. Tract 1 - Special Development Standards

Development shall be in accordance with the following conditions restrictions, and regulations:

#### A. General

1. Development shall be in accordance with the Conceptual Site Plan attached hereto and incorporated herein as Exhibit C.
2. The preliminary plat shall show the location and number of each of the four single family lot types – 41-feet, 50-feet, 65-feet, and 80-feet wide tracts. All final plats shall indicate the type(s) and number of single family residential to be developed. All plat applications shall provide a record of the number of total single family lots in the PD, by type, as part of the plat submission.
3. The final plat shall provide the location and type of lot based on lot width and number of common area or open space lots. Additionally, the final plat shall specify the interior side yard setbacks for the 41-feet and 50-feet wide lot products for each block.
4. A maximum ninety-one (91) forty-one foot (41') wide single-family lots are allowed.
5. Alleys shall not be required.
6. A landscape buffer a minimum of fifteen feet (15') in width as measured to "back of curb" shall be provided along FM 544 (Parker Road). Said landscape buffer shall be in accordance with the Conceptual Landscape Plan Details attached hereto and incorporated herein as Exhibit D. A landscape license agreement where said buffer encroaches into the public right-of-way shall be executed between the City of Carrollton and the Castle Hills homeowners association
7. Perimeter screening walls and entry signs along FM 544 shall be provided in accordance with the Conceptual Landscape Plan and the Conceptual Entry Wall & Sign exhibits attached hereto and incorporated herein as Exhibit E.
8. A minimum one (1) four-inch (4") caliper canopy tree shall be planted along streets at a rate of one (1) tree for every forty feet (40').
9. Hike and bike trails, including along the Indian Creek floodplain, shall be constructed, owned, and maintained by a Home Owner's Association (HOA).
10. Common Area lots shall be owned and maintained by a Home Owner's Association (HOA).
11. The requirement for a payment of a fee in lieu of dedication for park and recreation development shall be waived for this proposed development.

#### B. Streets

1. Streets generally may be designed with a forty-one foot (41') right of way, thirty-one foot (31') pavement (measured "back to back") and eight-foot (8') sidewalk and utility easements, five-foot (5') sidewalks, in accordance with the Typical Street Section attached hereto and incorporated herein as Exhibit F.

C. Single-Family Development Standards:

1. General Standards for all Single-Family Lots
  - a) Minimum front yard setback for single family lots shall be thirteen feet (13') with no encroachments allowed except for roof overhangs.
  - b) Minimum garage door setback of twenty feet (20') for garages facing a street.
  - c) Minimum side yard setback, abutting a street not designated as an arterial or collector on the Carrollton Transportation Plan shall be eleven feet (11'), provided however that unenclosed porches, chimneys, eaves, and similar architectural features, bay or bow windows and sunrooms (being enclosed room no more than fifteen feet (15') in width and having glass on at least fifty percent (50%) of each encroaching face) may encroach into the setback up to five feet (5'), provided the structures are not in the visibility triangle.
  - d) Maximum building coverage shall be sixty percent (60%).
  - e) Minimum rear yard setback shall be fifteen feet (15').
  - f) Minimum masonry content for facades abutting Parker Road shall be ninety percent (90%).
  - g) Chimneys provided on homes adjacent to Parker Road shall be one hundred percent (100%) masonry or direct vent.
  - h) All garage doors shall be a decorative wood or "faux wood" or equivalent paneled door.
2. Type 1: 41-foot wide single-family detached homes:
  - a) Minimum lot width shall be forty-one feet (41').
  - b) Minimum lot depth shall be one hundred-feet (100').
  - c) Minimum lot area shall be four thousand one hundred-square feet (4,100 sf).
  - d) Minimum interior side yard setback shall be five feet (5') or two (2') and eight (8') feet, as long as a minimum ten foot (10') separation remains between structures.
  - e) Minimum home size shall be one thousand six hundred-square feet (1,600 sf), exclusive of garages and unenclosed breezeways or porches.
3. Type 2: 50-foot wide single-family detached homes:
  - a) Minimum lot width shall be fifty feet (50').
  - b) Minimum lot depth shall be one hundred and five feet (105').
  - c) Minimum lot area shall be five thousand two hundred and fifty square feet (5,250 sf).
  - d) Minimum interior side yard setback shall be five feet (5') or two (2') and eight (8') feet, as long as a minimum ten foot (10') separation remains between structures.
  - e) Minimum home size shall be one thousand eight hundred-square feet (1,800 sf).
4. Type 3: 65-foot wide single-family detached homes:
  - a) Minimum lot width shall be sixty-five feet (65').
  - b) Minimum lot depth shall be one hundred and ten feet (110').
  - c) Minimum lot area shall be seven thousand one hundred and fifty-square feet (7,150 sf).

- d) Minimum home size shall be two thousand-square feet (2,000 sf).
- e) Minimum interior side yard setback shall be five feet (5').

5. Type 4: 80-foot wide single-family detached homes:

- a) Minimum lot width shall be eighty feet (80').
- b) Minimum lot depth shall be one hundred and fifteen feet (115').
- c) Minimum lot area shall be nine thousand two hundred-square feet (9,200 sf).
- d) Minimum home size shall be two thousand two hundred square feet (2,200 sf).
- e) Minimum interior side yard setback shall be five feet (5').

### III. Tract 2 - Permitted Uses

Permitted uses shall be all principal and accessory uses which are allowed by right in the (MF-18) Multifamily Residential District, in accordance with Article V of the Comprehensive Zoning Ordinance, as amended, and shall be developed in accordance with all applicable regulations of the (MF-18) Multifamily Residential District and the Comprehensive Zoning Ordinance, as amended, except as otherwise provided in Section II below.

A Special Use Permit shall be required for all uses otherwise requiring a Special Use Permit in the (MF-18) Multifamily Residential District, in accordance with Article V of the Comprehensive Zoning Ordinance, as amended. Such Special Use Permit(s) shall be subject to the conditions established in Articles XX and XXXI of the Comprehensive Zoning Ordinance, as amended, and shall be developed in accordance with all applicable regulations.

### IV. Tract 2 - Special Development Standards

Development shall be in accordance with the following conditions restrictions, and regulations:

#### A. General

1. Maximum density (Dwelling units per net acre) shall be twenty and six-tenths (20.6) dwelling units per acre.
2. Entry drives or streets from Josey Lane or FM 544 shall include canopy trees with minimum six-feet (6') wide pedestrian sidewalks with building setbacks within ten feet (10') from street/drive sidewalks.
3. No parking spaces shall be allowed between FM 544 or Parker Road and buildings. Although parking spaces visible from FM 544/Parker Road are acceptable.
4. A twenty foot (20') landscape buffer shall be maintained from the front property line along FM 544 and Josey Lane.

#### B. Technical Site Plan Review

1. Technical site plan approval for multi-family development is required by the

Planning and Zoning Commission and City Council.

2. The technical site plan review shall consider the following:
  - a) Scale comparison with surrounding land uses and properties, including but not limited to cross-sections along adjacent streets, homes, comparison of building heights (and number of stories);
  - b) Preliminary proposed grading plans;
  - c) Colored building elevations with articulation, building materials, and roof profiles;
  - d) Site plan design including but not limited to circulation, amenities, accessory structures, and location/design of retention/detention;
  - e) Landscaping buffering including but not limited to street trees, parking lots, open space, and along FM 544 and Josey Lane.

C. Special Parking Regulations:

1. The off-street parking requirements shall exclude parking requirements for all recreational uses (i.e. pool, amenity center, etc.).
2. Shared parking across lot/parcel lines shall be allowed to satisfy the required off-street parking requirement for adjacent multi-family development only.
3. No outdoor storage of recreational vehicles, boats, or other large profile vehicles where such items are visible from the periphery of the property is allowed.

D. Height and Area Regulations:

1. Minimum floor area per dwelling unit for an efficiency unit shall be minimum five hundred square feet (500 sf) of living area.
2. Maximum height of structure shall be three (3) stories (A maximum height of four (4) stories is allowed where an enclosed garage occupies the first floor of the building).
3. Maximum amount of impervious coverage shall be ninety percent (90%) (as a percentage of total lot area).
4. Setbacks:
  - a) Main and accessory structures adjacent to property zoned to a Single-Family Residential District (SF) per the City of Carrollton Zoning Ordinance, FM 544, Josey Lane, or west property line shall have a minimum twenty-foot (20') setback.
  - b) Main and accessory structures abutting property zoned a Single Family Residential District (SF) per the City of Carrollton Zoning Ordinance to the east shall have a minimum fifteen-foot (15') setback.

**B. P&Z ACTION** from P&Z meeting: 02/02/2017

Result: **APPROVAL** /Vote: 7-1(Denholm opposed and Romo absent)

**C. CC PUBLIC HEARING** from CC meeting: 02/28/2017

Result: /Vote:

## ZONING

Case Coordinator: Loren Shapiro

### GENERAL PROJECT INFORMATION

**Land Use:** The property is currently outside the city limits. Two companion cases are on the agenda for the subject property. The first case is to recommend adopting an ordinance annexing the subject property. The second case is to amend the comprehensive plan and designate future land uses.

#### SURROUNDING ZONING      SURROUNDING LAND USES

NORTH	City of Lewisville	Undeveloped/Single-Family Detached
SOUTH	(O-2) Office District	Undeveloped
EAST	(LR-2) Local Retail District, Town of Hebron & City of Lewisville	Undeveloped/Retail
WEST	Town of Hebron & City of Lewisville	Undeveloped

**REQUEST:** Request to establish zoning to Planned Development District (PD) for the (SF-5/12) Single-Family Residential and (MF-18) Multi-Family Residential Districts with development standards

**PROPOSED USE:** Single-Family Detached and Multi-Family Residential and Open Space (in flood plain)

**ACRES/LOTS:** 145 acres/2 tracts

**LOCATION:** Northwest of the intersection of Parker Road (FM 544) and Josey Lane

**HISTORY:** The property was previously in the Town of Hebron and undeveloped. Tooth Acres Pet Center is located between the proposed single-family and multi-family tracts. Disannexation from the Town of Hebron occurred on January 2, 2017.

Companion cases to annex and amend the comprehensive plan (future land use map) for the subject tract are also on this agenda (Case Nos. 01-17MD1 Castle Hills-Clem Tract (Annexation) and 02-17MD2 Castle Hills, Phase 10 (Comp-Plan).

**COMPREHENSIVE PLAN:** None Established

**TRANSPORTATION PLAN:** Parker Road and Josey Lane are designated as an (A6D) Six-Lane Divided Arterial.

**OWNER:** Clem's Ye Olde Homestead Farms, Ltd.

**REPRESENTED BY:** CH PH 10, LLC.

### **STAFF ANALYSIS**

#### **PROPOSAL**

This is a request to establish zoning on a proposed annexation tract, of approximately 145 acres, to a Planned Development District (PD) for the (SF-5/12) Single-Family Residential and (MF-18) Multi-Family Residential.

The applicant proposes single-family detached lots, open space, and multi-family.

The applicant is requesting several alternatives to the requirements of the Comprehensive Zoning Ordinance.

#### **CURRENT ORDINANCE REQUIREMENTS**

The subject property was located in the Town of Hebron. The Town of Hebron disannexed the property on January 2, 2017.

Two companion cases are on the agenda for the property (01-17MD1 Castle Hills-Clem Tract (Annexation) and 02-17MD2 Castle Hills, Ph. 10 (Comp-Plan)). Annexation into the City of Carrollton and City Council approval of the amendment to the future land use map are necessary for the zoning of the property to be valid.

The proposed PD would establish zoning and development regulations and contain a conceptual site plan, landscape plan and buffers, entry wall and signs, and typical street section exhibits.

#### **ELEMENTS TO CONSIDER:**

- Surrounding properties near the intersection of FM 544 (Parker Road) and Josey Lane have been developing primarily as single-family detached. Two single-family subdivisions are under construction north and east-northeast of the subject property, along Josey Lane, while existing single family subdivisions are to the south and southwest. The only exceptions are on the hard corners of the two thoroughfares, where there is an existing liquor store at the

northwest corner, in the Town of Hebron, the Race Trac and medical offices at the southeast corner, anticipated commercial development on vacant tracts at the southwest and northeast corners where properties are zoned (LR-2) Local Retail.

- The proposed request would rezone the approximately 145 acres, on two tracts, to Planned Development (PD), to allow single-family detached, open space, and multi-family with development standards.
- Tract 1 would include 111.58 acres to be zoned single-family, including 41, 50, 65, and 80-feet wide lot products. The area will include common area lots and an open space area along the flood plain of Indian Creek.
  - The applicant proposes approximately 283 single-family lots;
  - The number of 41-foot wide lots will be limited to a maximum 91 lots;
  - Front-loaded driveways are proposed for all lots;
  - Street trees will be provided throughout at a rate of one (1) four inch (4") caliper tree for every forty linear feet (40') of roadway frontage. The applicant is requesting a waiver to removing or preserving existing trees, as new trees will be planted along all roadway frontages;
  - Hike and bike trails, constructed, owned, and maintained by the Home Owner's Association (HOA) will be located in the open space along Indian Creek. The applicant is requesting park fees be waived as open space, common area lots, and hike and bike trails will be constructed and owned and maintained by Castle Hills;
  - Street right-of-way is proposed to be reduced from the standard fifty feet (50') to forty-one feet (41'), as approved in Singer Ranch. The proposed residential street pavement width of thirty-one feet (31') is in conformance with city requirements. Easements will be provided to accommodate utilities and five-foot (5') wide sidewalks (standard sidewalk widths are four feet (4')) (See Typical Street Section and Utility Location Exhibit);
  - Front setbacks from homes will be reduced from the standard twenty feet (20') to thirteen feet (13'). However, garage doors shall be setback a minimum twenty feet (20'), measured from street (right-of-way).
    - *The Planning and Zoning Commission identified concerns regarding the ability of driveways to accommodate larger vehicles due to the short depth between the sidewalk and garage doors (See proposed Typical Street Section and Utility Location Exhibit). One commissioner was concerned some parked vehicles on driveways would extend over the five-foot sidewalk forcing pedestrians to use the pavement of the street for pass-through access.*
    - *The applicant has stated the Castle Hills covenants and restrictions are enforced. The applicant indicated violation letters are sent out to residents' homes where parking is observed on driveways.*

- *The 20-foot garage door setback is measured from the front property line and 41-foot right-of-way, and includes the five-foot wide sidewalk. This would provide 15-feet clearance for vehicles parked in driveways, without crossing the sidewalk.*
- *Singer Ranch, approved by City Council, and Castle Hills, Phase 8 in Lewisville, have 41-foot wide streets with a 20-foot front-loaded garage setback, with the 5-foot sidewalks.*
- Interior side yard setbacks will be a minimum five feet (5') for 41, 50, 65 and 80-feet wide lots. Another option allows the 41 and 50-feet wide single-family lots to have two (2') and eight (8') feet interior side yard setbacks, as long as there is a minimum ten feet (10') between buildings;
- Minimum home sizes will range from one thousand six hundred square feet (1,600 sf) for the forty one-foot (41') product to two thousand two hundred square feet (2,200 sf) for the eighty-foot (80') wide lots;

*Staff had requested the applicant provide a maximum number of homes to be limited, under 2,000 square feet. However, the applicant prefers to allow homes to 1,600 square feet for 41-foot wide lots and 1,800 square feet for 50-foot wide lots.*
- Consistent with City Council's past actions, all exterior home façade content shall be a minimum ninety percent (90%) masonry (brick and stone) and one hundred percent (100%) masonry (brick and stone) for chimneys where adjacent to thoroughfares (Parker Road); and
- All garage doors shall be decorative wood or "faux wood" or equivalent paneled door.

- Tract 2, 20.91 acres, is proposed to be occupied by the multi-family product, nearest the northwest intersection of FM 544 and Josey Lane, adjacent to the liquor store in the Town of Hebron.
  - Base multi-family zoning allows up to eighteen (18) units per acre. The applicant is requesting a maximum twenty and six tenth (20.6) units per acre or 430 units;
  - Entry drives shall contain canopy trees along the six-foot (6') wide sidewalks creating a pedestrian friendly entry for multi-family buildings at the entrance of FM 544 (Parker Road) and Josey Lane;
  - A twenty-foot (20') landscape buffer will be maintained along FM 544 (Parker Road) and Josey Lane;
  - Since the multi-family development is not yet far along in the development stage, an approved technical site plan including landscaping, building elevations, and preliminary grading will be required through the Planning and Zoning Commission and City Council; and
  - Main and accessory structures shall be setback minimum twenty-feet (20') from property zoned Single-Family and Parker and Josey. A minimum fifteen-foot

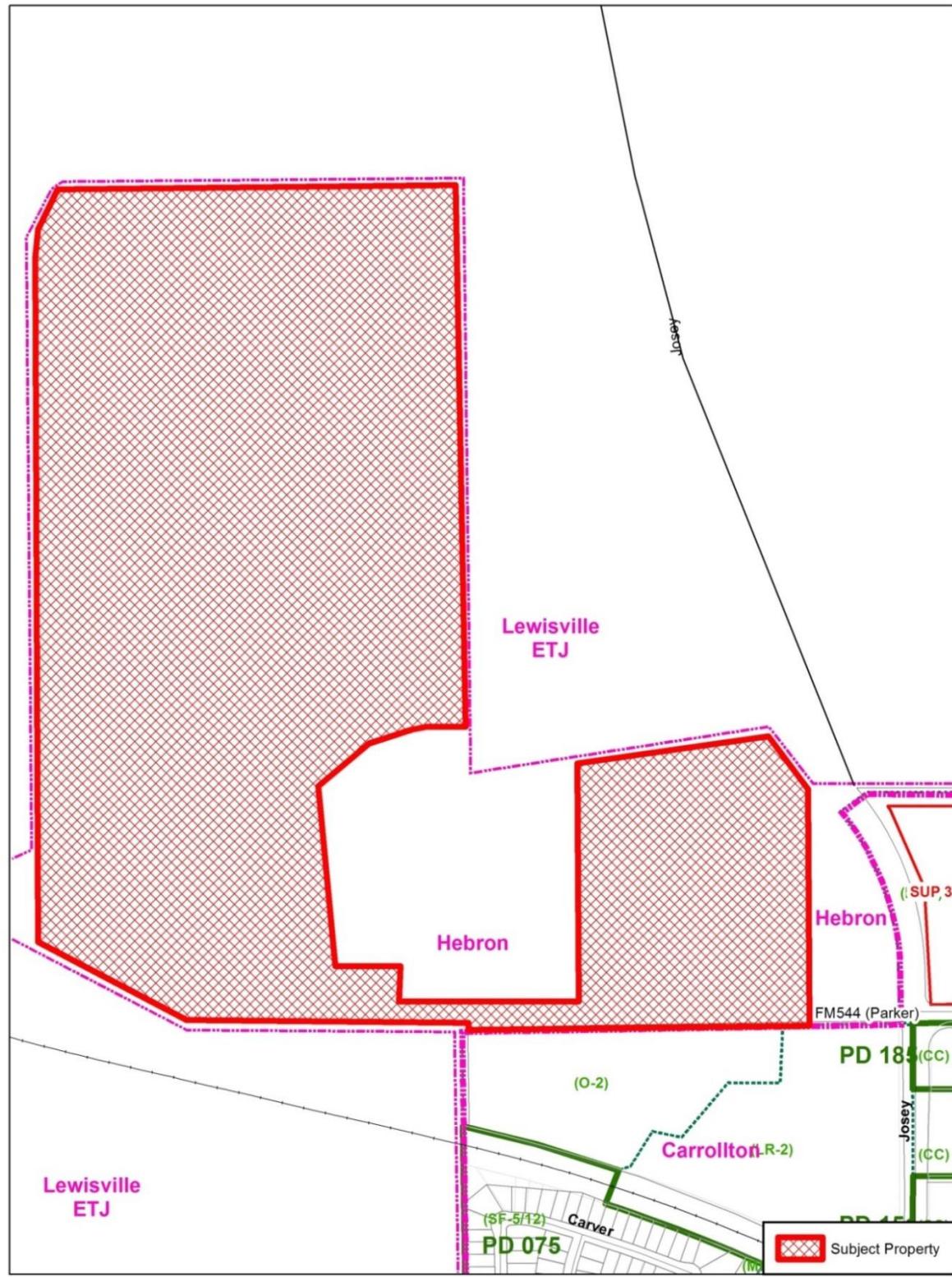
(15') setback would be allowed adjacent to the commercial development to the east.

- The applicant proposes the same general development regulations approved in Singer Ranch, except for added requirements for the four (4) single-family residential lot types and the multi-family. Singer Ranch, Castle Hills (southeast corner of Old Denton and Windhaven (Carrollton Parkway)) is under construction and will contain only forty one-foot (41') minimum lot product with front-loaded driveways and reduced setbacks.

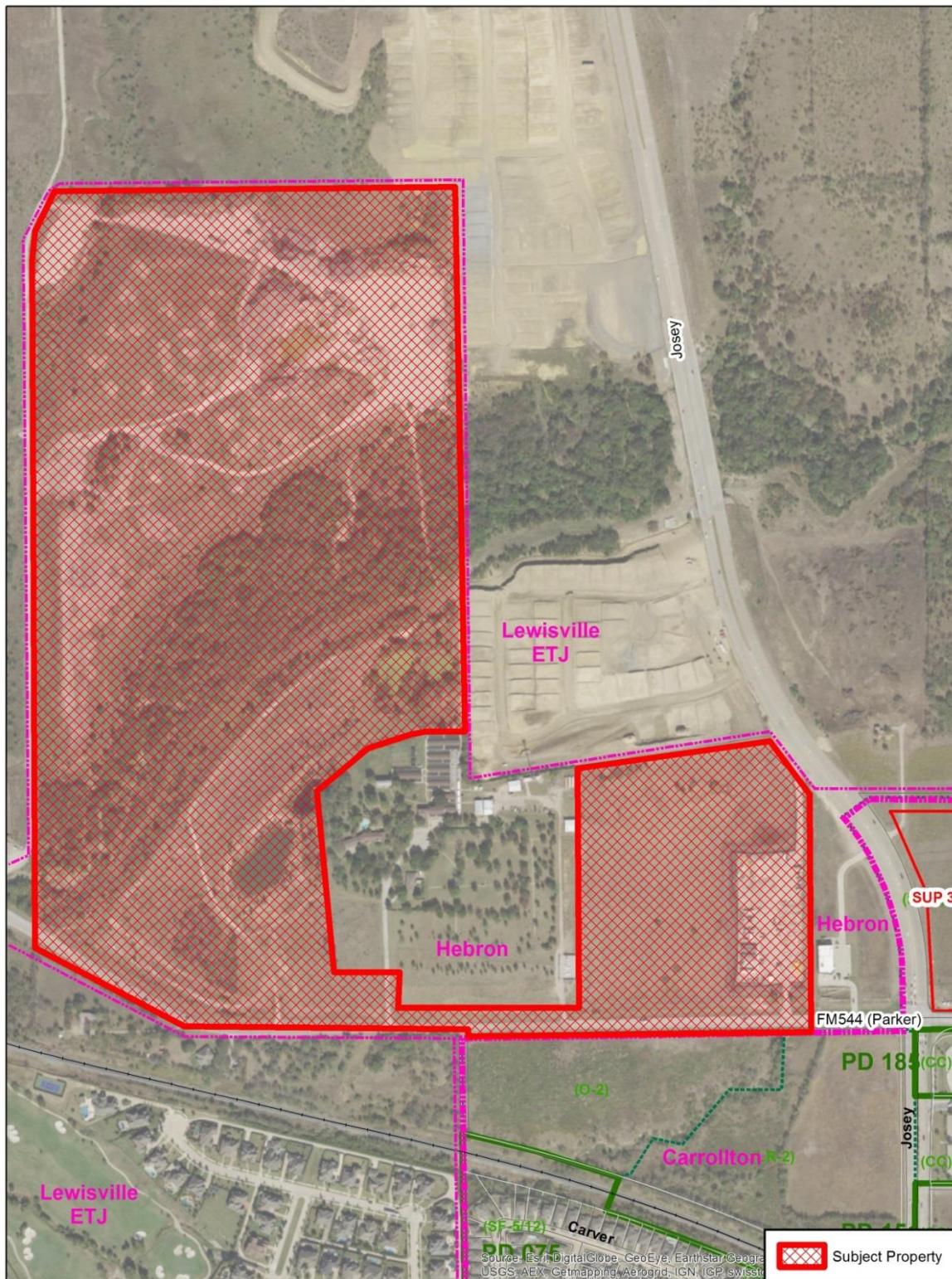
## **CONCLUSION**

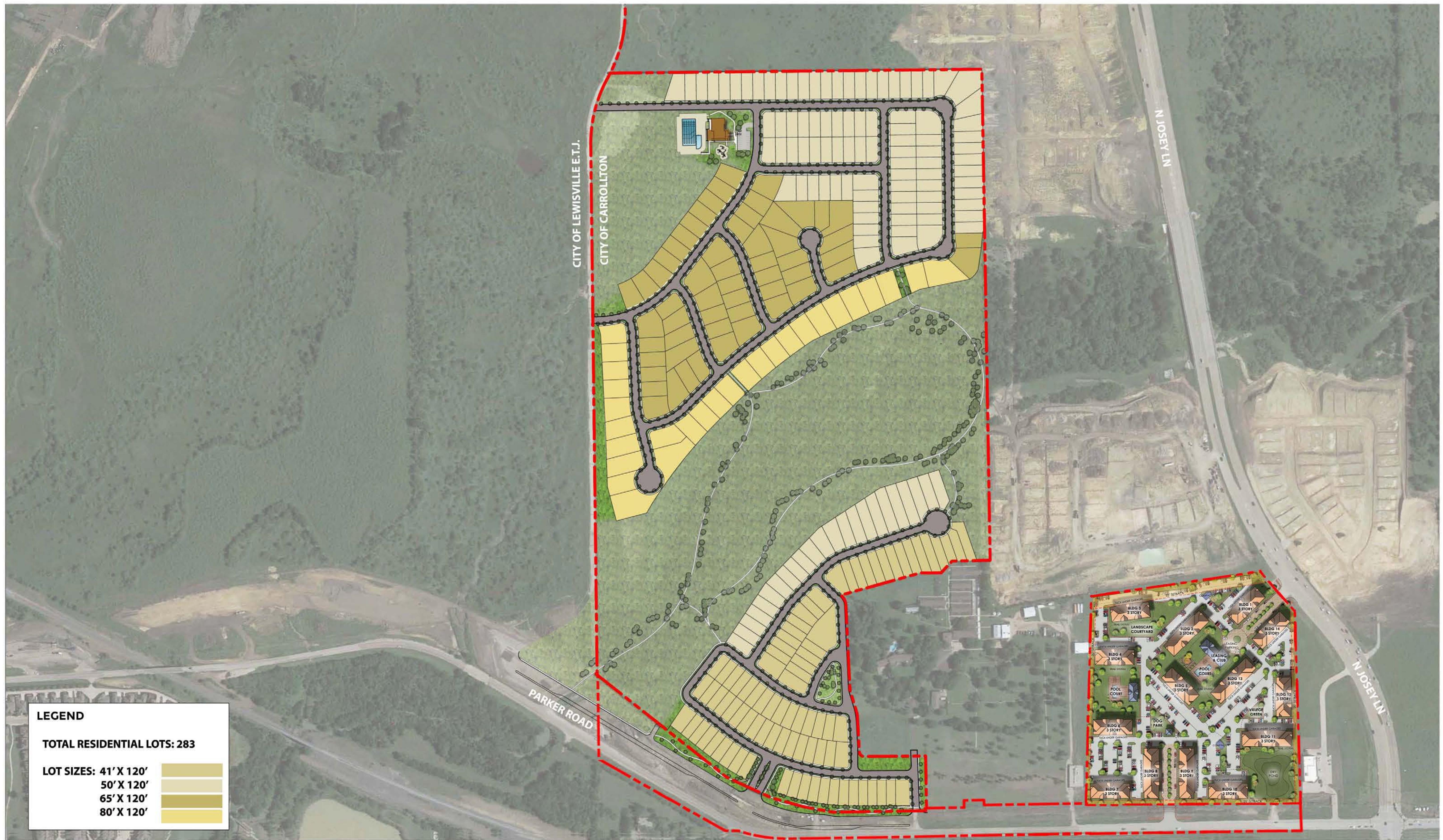
The proposed PD is appropriate and compatible based on the surrounding zoning and land uses. The single family detached is an extension of Castle Hills and will be developed to the covenants and restrictions, in addition to the zoning proposed herein. The multi-family is located near the intersection of Parker Road (FM 544) and Josey Lane, adjacent to commercial land (developed and undeveloped) to the east and south. Single family detached is under construction to the north and east-northeast of the proposed multi-family. Enhancements including street trees, open space, hike and bike trails, and a variety of lot sizes are proposed in the single-family development. A technical site plan for multi-family will be required through both the Planning and Zoning Commission and City Council.

**SITE LOCATION AND ZONING MAP**



**AERIAL PHOTO**





**LandDesign**

# CASTLE HILLS

## CITY OF CARROLLTON

Conceptual Plan

**NOTE:**  
THIS SKETCH IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE. SITE SURVEY AND BOUNDARY INFORMATION ARE REQUIRED. FURTHER STUDY IS REQUIRED TO FULLY ACCOMMODATE SITE CONDITIONS AND REGULATORY REQUIREMENTS.

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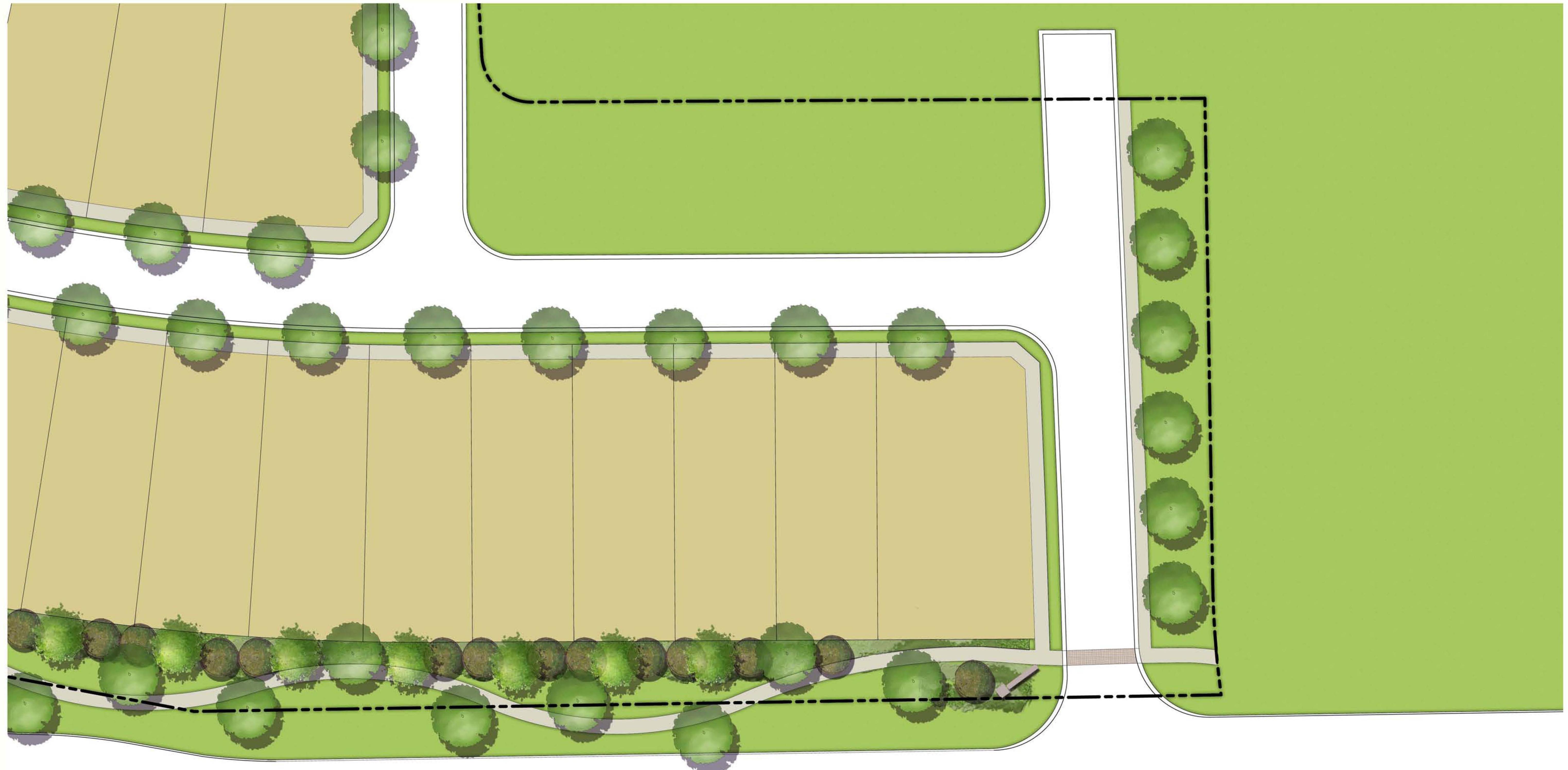
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**CASTLE HILLS**  
CITY OF CARROLLTON  
Conceptual Plan

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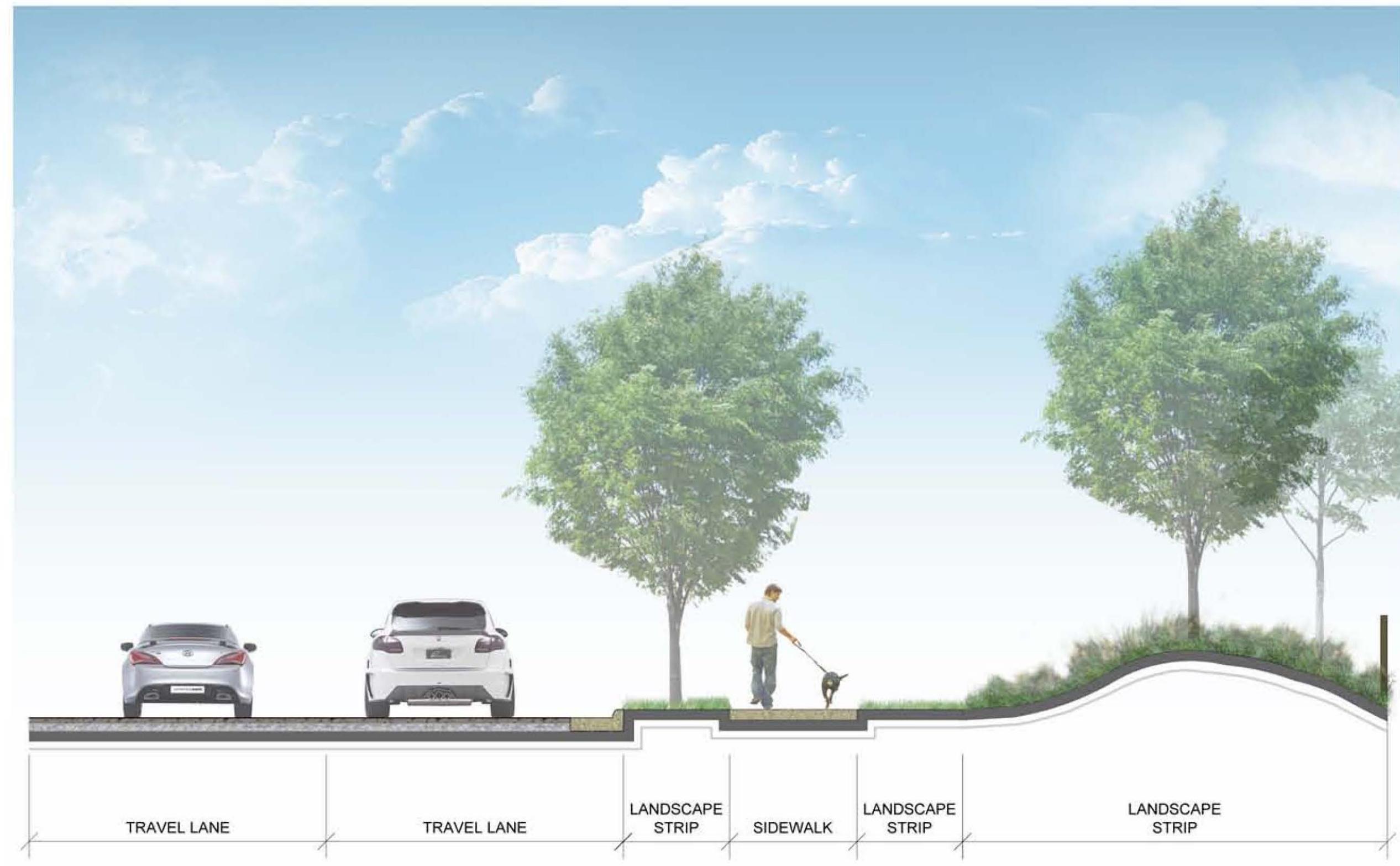
PARKER ROAD

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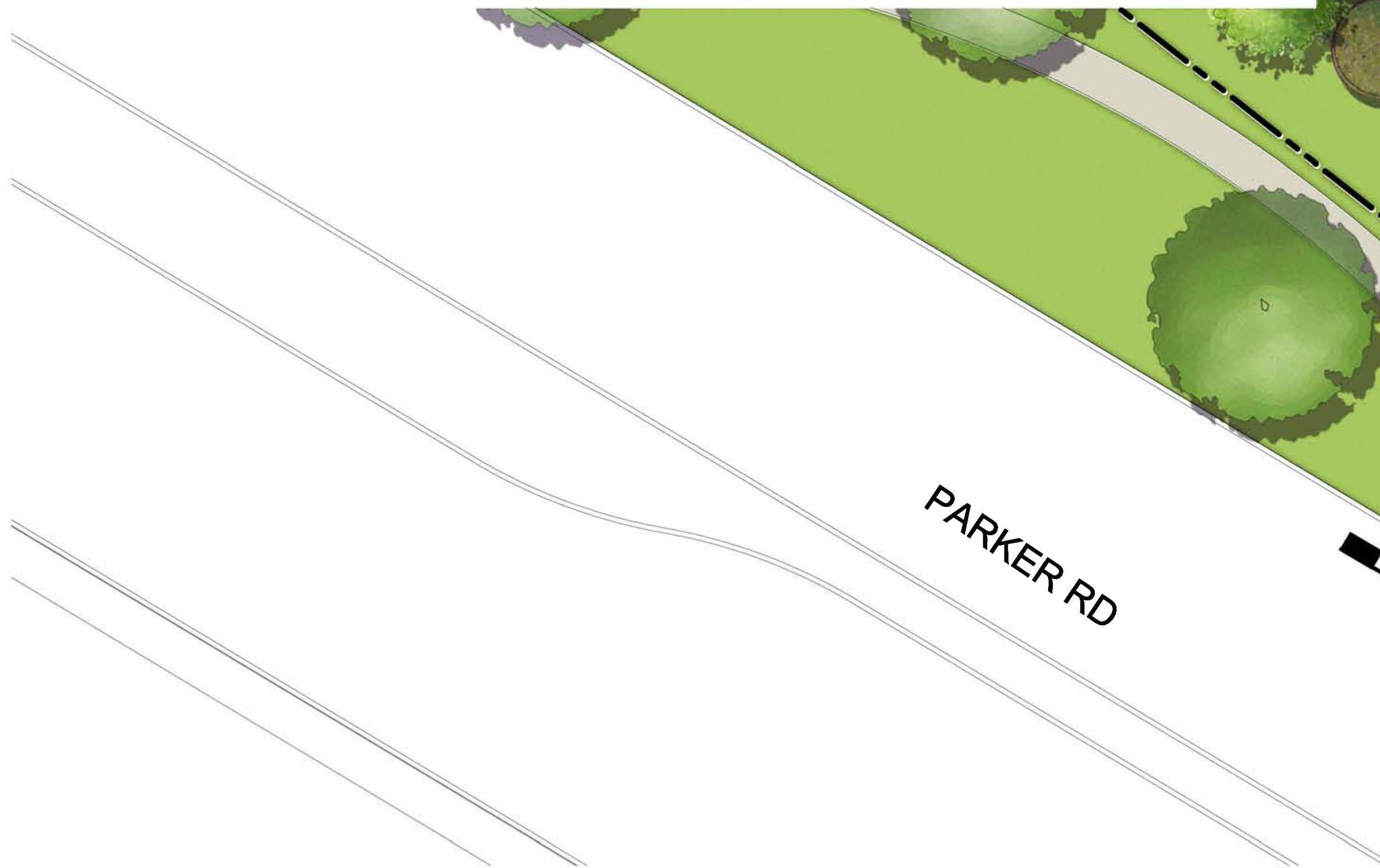
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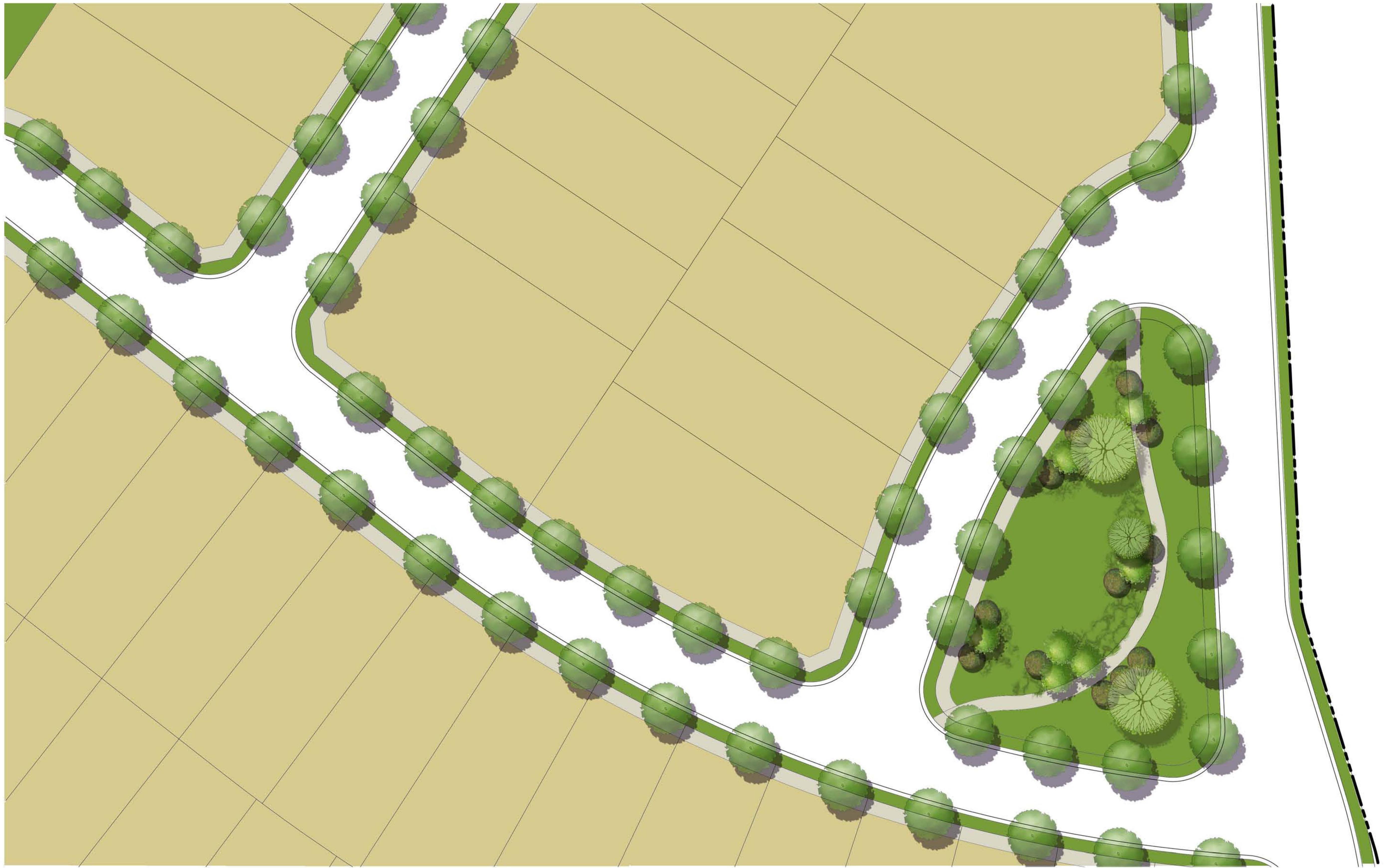
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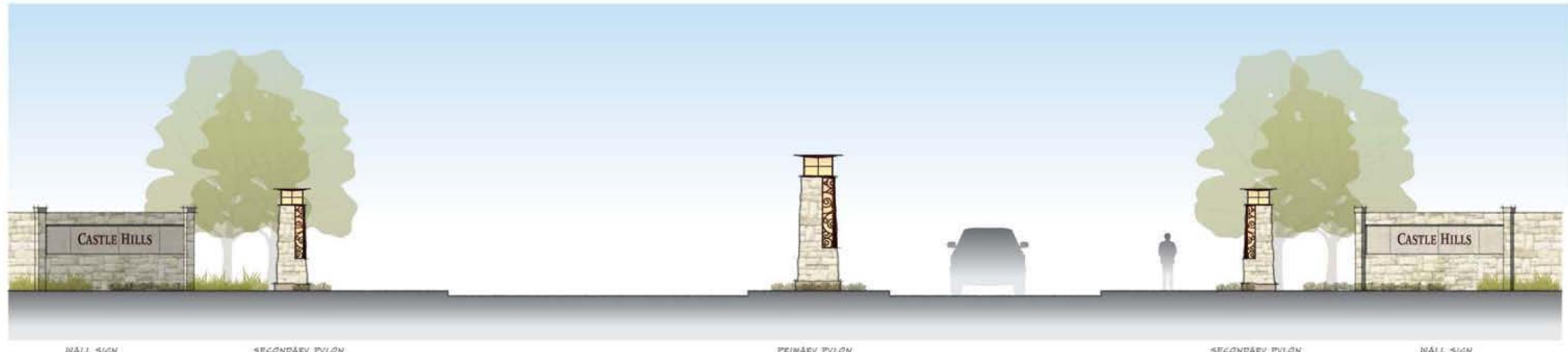


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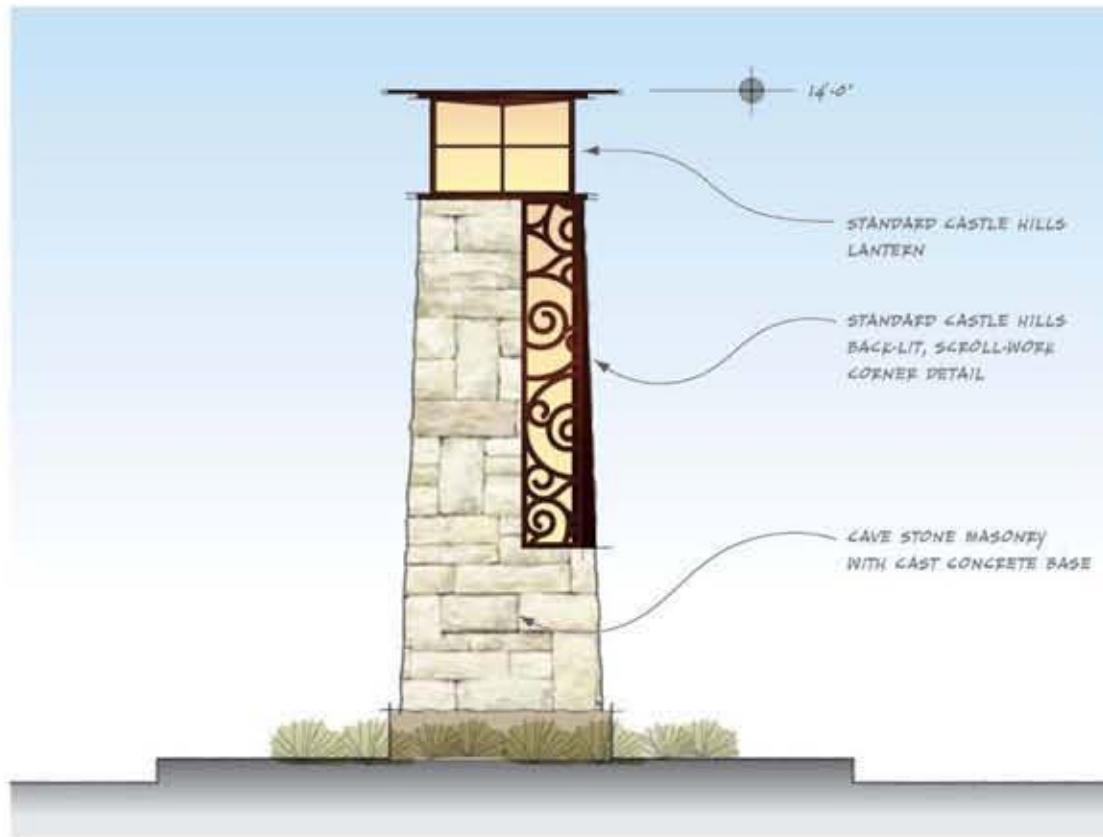
1 West Entrance

Scale: 3/32" = 1'-0"



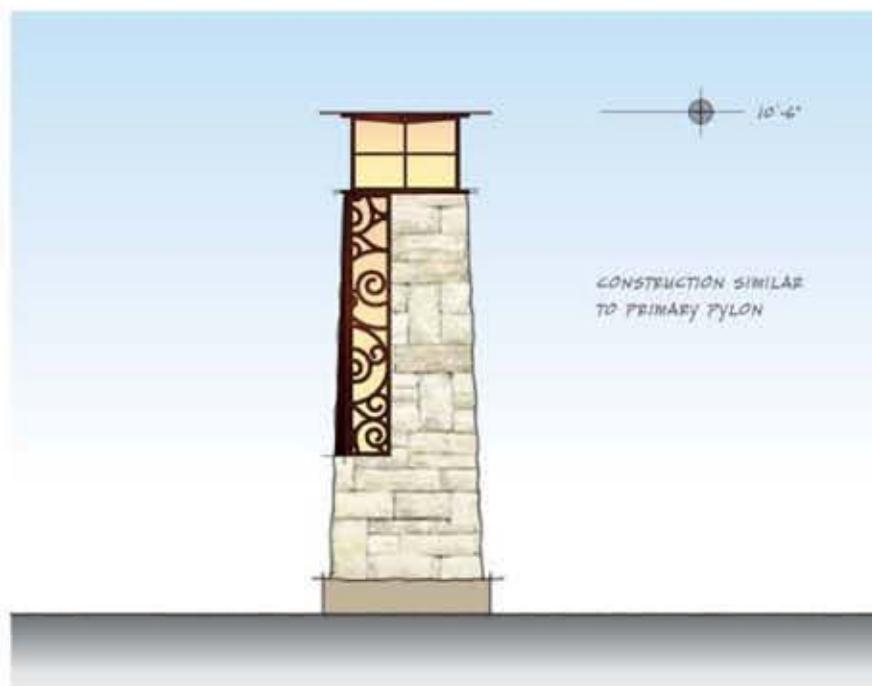
2 North Entrance

Scale: 3/32" = 1'-0"



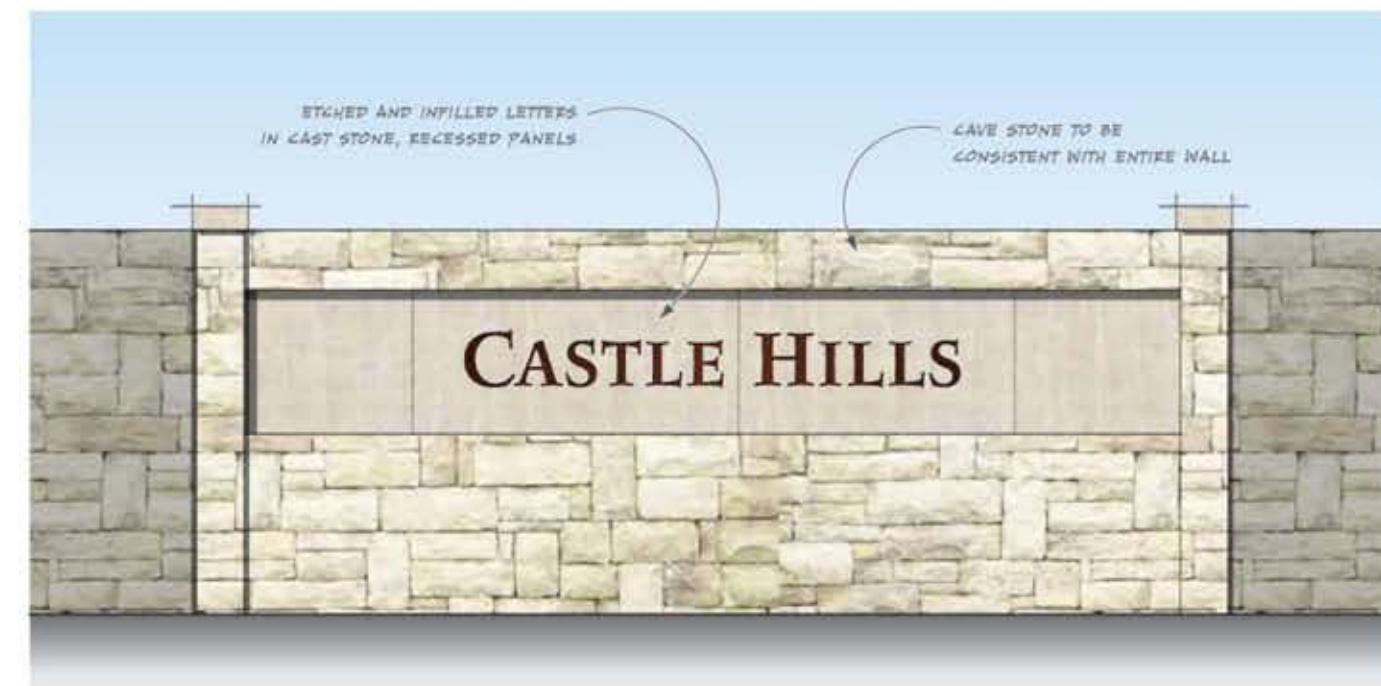
1 Primary Pylon

Scale: 1/4" = 1'-0"



2 Secondary Pylon

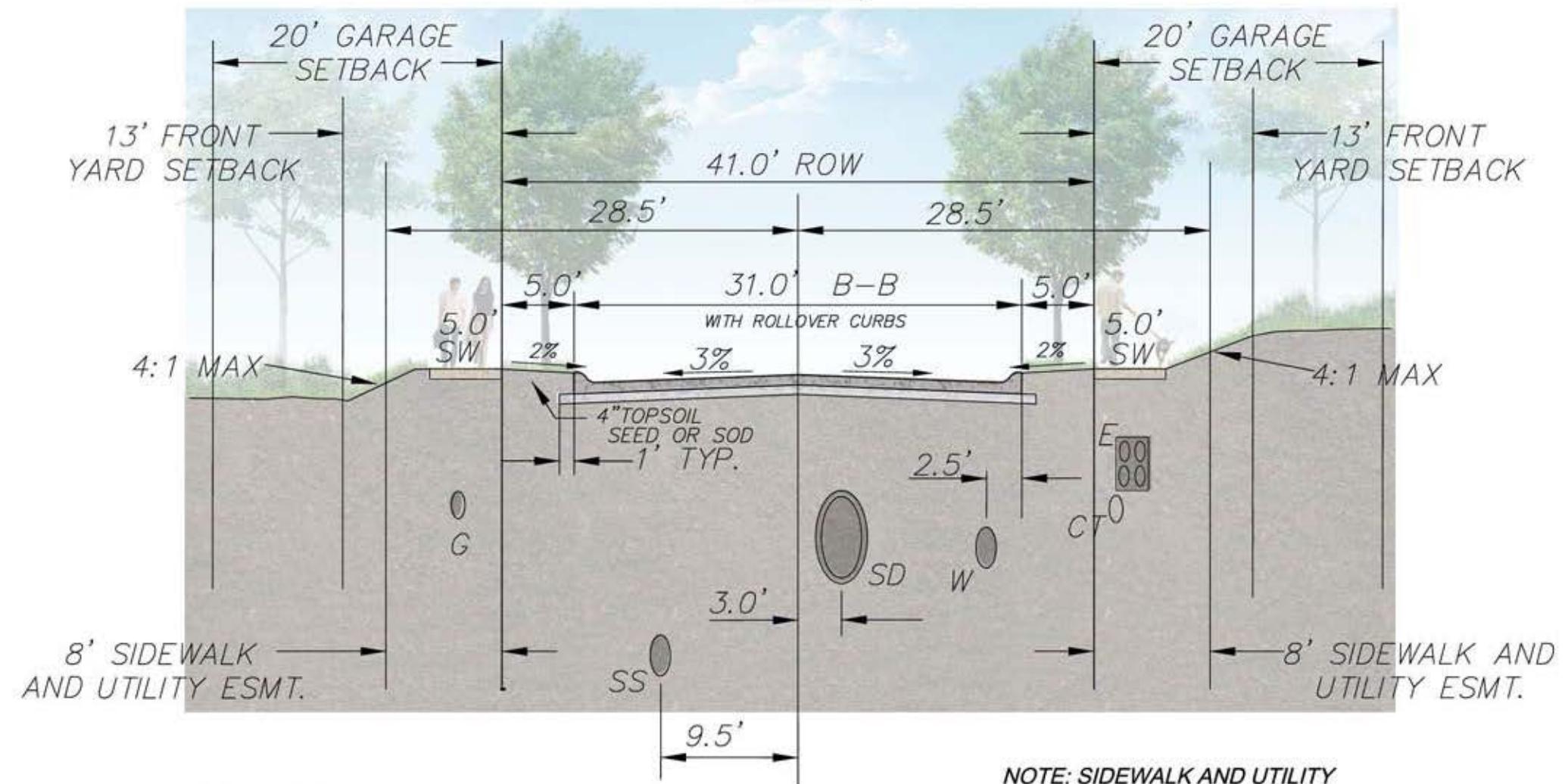
Scale: 1/4" = 1'-0"



3 Wall Sign

Scale: 1/4" = 1'-0"

**TYPICAL STREET SECTION AND  
UTILITY LOCATION EXHIBIT  
41 FT. R.O.W. WITH  
8' SIDEWALK AND UTILITY  
EASEMENT AND ROLLOVER CURBS  
N.T.S**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 41-FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 41- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 41- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 50- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 50- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 50- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 65- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 65- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 65- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 80- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 80- FOOT LOT PRODUCT**



**CONCEPTUAL SINGLE-FAMILY HOME EXHIBITS – 80- FOOT LOT PRODUCT**



## DRAFT PLANNING & ZONING COMMISSION MINUTES

FEBRUARY 2, 2017

Public Hearing To Consider And Act On A Resolution To **Amend The Comprehensive Plan And The Future Land Use Map** On An Approximately 145-Acre Site Located Northwest Of The Intersection Of Parker Road (544) And Josey Lane To Single-Family Detached, Multi-Family, And Open Space. **Case No. 02-17MD2 Castle Hills, Phase 10 (Comp Plan)**. Case Coordinator: Loren Shapiro.

Public Hearing To Consider And Act On An Ordinance **Establishing Zoning On A Proposed Annexation Tract** Located On Approximately 145-Acres Northwest Of The Intersection Of Parker Road (544) And Josey Lane As A (PD) Planned Development District To Allow For (SF5/12) Single Family Residential And (MF-18) Multi-Family Residential Districts With Development Standards; Amending The Official Zoning Map Accordingly. **Case No. 02-17Z2 Castle Hills 10 -Clem Tract (Zoning)**. Case Coordinator: Loren Shapiro.

Chair Averett advised that Items 7 and 8 would be heard simultaneously but would be acted on with separate motions.

Shapiro advised that the subject property of the two cases was not yet within the Carrollton city limits but were being considered for annexation by the City Council with the first public hearing having been held on January 24, 2017 and the second scheduled to be held on February 7, 2017. The final annexation ordinance was scheduled for adoption on February 28. The applicant proposes to establish single family land use on the western portion with open space running through the middle. Near the intersection of Josey Lane and Parker Road, the applicant is seeking to establish multi-family land use. With regard to zoning, the applicant proposed single family zoning with four different types of single family detached product that would all be front loaded with reduced front yard setbacks. The proposal includes enhanced landscaping throughout the development along the perimeter main streets of 544/Parker Road as well as along Josey Lane. He provided conceptual elevations for each of the four types of product.

Aaron Ketchand, 2520 King Arthur Blvd., Lewisville, representing Bright Realty, stated they were requesting very similar criteria as approved for Singer Ranch and was subject to annexation, Comprehensive Plan, zoning and preliminary plat approvals. He stated the development is a joint venture with the Clem family and the intention is to close on the property and begin construction by late summer with expectation to deliver the first lots in the first quarter of 2019. The similarities are lot type, lot size and product type and the difference is this would be much less dense than Singer Ranch. He reviewed the Master Trail Plan noting trail connectivity across Old Denton that would ultimately tie into the Indian Creek Trail system to the south. He explained that they request the park fee be waived because of the amount of amenities and trails available to the homeowners of Castle Hills and the public. He stated the trails would be a public amenity that the City would not have to pay for. He stated they would be tying the area north of Indian Creek through Lewisville Road connections and advised that most of the density would be adjacent to the pet cemetery with the least amount of density on the peninsula to the north of Indian Creek.

Eric Stanley, 800 Sir Galahad, Lewisville, representing Castle Hills, did not offer a presentation but was available to answer questions.

John Denholm stated concern regarding the setbacks proposed and how realistic it is for people parking in the driveway and noting the narrow lots. He voiced concern with blocking of sidewalks due to the narrow depth between the sidewalk and garage. Mr. Stanley advised that through a strict

## DRAFT PLANNING & ZONING COMMISSION MINUTES

FEBRUARY 2, 2017

interpretation of the HOA rules, parking is only allowed in the garage and he talked about enforcement of the rules and restrictions. In asking about the public having access to the amenities, Mr. Denholm noted signage at various amenities in Castle Hills that reads “residents only.” Mr. Stanley stated there is signage that tends to dissuade the public but was not doable noting that at Lake Avalon Park on 4<sup>th</sup> of July most of the people are not Castle Hills residents. He clarified that particular areas that are behind the gate are restricted to residents only such as the pool and tennis facilities, but the park areas are for anyone’s use. Mr. Denholm noted the small minimum side yard setback of 5 ft. or 2 and 8 ft. on the 41 ft. and 50 ft. product and asked about the ability to maintain that area. Mr. Stanley replied that the reason for it was to have the ability of J swing garages and those areas have gravel and a French drain for essentially a zero maintenance area.

Chair Averett opened the public hearing and invited speakers to address the Commission. There being no speakers, he offered the applicant an opportunity for closing remarks to which there were none.

*\*Chrisman moved to close the public hearing and amend the Comprehensive Plan and Future Land Use Map, Case No. 02-17MD2 Castle Hills Phase 10 with staff stipulations; second by Chadwick and the motion was approved with a unanimous 8-0 vote.*

*\*Chadwick moved to close the public hearing and moved approval of Case No. 02-17Z2 Castle Hills 10-Clem Tract with stipulations; second by Kiser and the motion was approved with a 7-1 vote, Denholm opposed.*

PLANNING DEPARTMENT  
City of Carrollton  
Date: 02/28/2017

PLANNED DEVELOPMENT NO. 209  
Castle Hills, Phase 10 (Zoning)

**ORDINANCE NUMBER \_\_\_\_\_**

ORDINANCE NO. \_\_\_\_\_ OF THE CITY OF CARROLLTON AMENDING ITS COMPREHENSIVE ZONING ORDINANCE BY ESTABLISHING PLANNED DEVELOPMENT NUMBER 209 PROVIDING FOR THE (SF-5/12) SINGLE-FAMILY AND (MF-18) MULTI-FAMILY DISTRICTS WITH MODIFIED DEVELOPMENT STANDARDS; PROVIDING PENALTY, SEVERABILITY, REPEALER AND SAVINGS CLAUSES; AND PROVIDING FOR AN EFFECTIVE DATE ON AND AFTER ITS ADOPTION AND PUBLICATION.

**WHEREAS**, at its special meeting held on the Second day of February, 2017, the Planning and Zoning Commission considered and made recommendations on a certain request for a Planned Development District (Case No. 02-17Z2);

**WHEREAS**, this establishment of zoning is in accordance with the adopted Comprehensive Plan of the City of Carrollton, as amended;

**WHEREAS**, this establishment of zoning will distinguish development standards specially applicable to the unique nature of the approximately 145-Acre tract; and

**WHEREAS**, the City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CARROLLTON, TEXAS, THAT:**

**SECTION 1.**

All of the above premises are found to be true and correct legislative and factual findings of the City Council, and they are hereby approved, ratified and incorporated into the body of this Ordinance as if copied in their entirety.

**SECTION 2.**

Planned Development Number 209 is hereby established for a certain approximately 145-acre tract of land located northwest from the intersection of F.M. 544 (Parker Road) and Josey Lane, and more specifically described on the attached Exhibit A and depicted on Exhibit B, providing for the following:

## I. Tract 1 and 2 Development Standards

Development of both Tracts 1 and 2 shall be in accordance with the following special conditions, restrictions and regulations:

### **General:**

1. Development shall be in accordance with the Conceptual Site Plan attached hereto and incorporated herein as Exhibit C.
2. An "entry ribbon" consisting of decorative concrete pavers shall be placed in each driveway or street intersecting with FM 544 and Josey Lane. Said entry ribbon shall be no less than ten feet (10') in depth and shall extend across the width of the street and shall generally align with the abutting sidewalk.
3. Landscaping and perimeter screening walls and entry signs along FM 544 or Josey Lane shall be provided in accordance with the Conceptual Landscape Plan and Buffering Plan; and the Conceptual Entry Wall & Sign exhibits attached hereto and incorporated herein as Exhibits D and E respectively.
4. No tree survey shall be required and all tree preservation or remediation that might be required are addressed by the planting of street trees, buffer trees within the Parker Road and Josey Lane buffer areas, entry trees, parkway trees, homebuilder planted trees on lots, etc.

## II. Tract 1: Permitted Uses

Permitted uses shall be all principal and accessory uses which are allowed by right in the (SF-5/12) Single Family Residential District, in accordance with Article V of the Comprehensive Zoning Ordinance, as amended, and shall be developed in accordance with all applicable regulations of the (SF-5/12) Single Family Residential District and the Comprehensive Zoning Ordinance, as amended, except as otherwise provided in Section III below.

A Special Use Permit shall be required for all uses otherwise requiring a Special Use Permit in the (SF-5/12) Single Family Residential District, in accordance with Article V of the Comprehensive Zoning Ordinance, as amended. Such Special Use Permit(s) shall be subject to the conditions established in Articles XXI and XXXI of the Comprehensive Zoning Ordinance, as amended, and shall be developed in accordance with all applicable regulations.

## III. Tract 1 - Special Development Standards

Development shall be in accordance with the following conditions restrictions, and regulations:

### **A. General**

1. Development shall be in accordance with the Conceptual Site Plan attached hereto and incorporated herein as Exhibit C.
2. The preliminary plat shall show the location and number of each of the four single family lot types – 41-feet, 50-feet, 65-feet, and 80-feet wide tracts. All final plats shall indicate the type(s) and number of single family residential to be developed. All plat

applications shall provide a record of the number of total single family lots in the PD, by type, as part of the plat submission.

3. The final plat shall provide the location and type of lot based on lot width and number of common area or open space lots. Additionally, the final plat shall specify the interior side yard setbacks for the 41-feet and 50-feet wide lot products for each block.
4. A maximum ninety-one (91) forty-one foot (41') wide single-family lots are allowed.
5. Alleys shall not be required.
6. A landscape buffer a minimum of fifteen feet (15') in width as measured to "back of curb" shall be provided along FM 544 (Parker Road). Said landscape buffer shall be in accordance with the Conceptual Landscape and Buffering Plan Details attached hereto and incorporated herein as Exhibit D. A landscape license agreement where said buffer encroaches into the public right-of-way shall be executed between the City of Carrollton and the Castle Hills homeowners association
7. Perimeter screening walls and entry signs along FM 544 shall be provided in accordance with the Conceptual Wall & Sign exhibits attached hereto and incorporated herein as Exhibit E.
8. A minimum one (1) four-inch (4") caliper canopy tree shall be planted along streets at a rate of one (1) tree for every forty feet (40').
9. Hike and bike trails, including along the Indian Creek floodplain, shall be constructed, owned, and maintained by a Home Owner's Association (HOA).
10. Common Area lots shall be owned and maintained by a Home Owner's Association (HOA).
11. The requirement for a payment of a fee in lieu of dedication for park and recreation development shall be waived for this proposed development.

#### B. Streets

1. Streets generally may be designed with a forty-one foot (41') right of way, thirty-one foot (31') pavement (measured "back to back") and eight-foot (8') sidewalk and utility easements, five-foot (5') sidewalks, in accordance with the Typical Street Section attached hereto and incorporated herein as Exhibit F.

#### C. Single-Family Development Standards:

1. General Standards for all Single-Family Lots
  - a) Minimum front yard setback for single family lots shall be thirteen feet (13') with no encroachments allowed except for roof overhangs.
  - b) Minimum garage door setback of twenty feet (20') for garages facing a street.
  - c) Minimum side yard setback, abutting a street not designated as an arterial or collector on the Carrollton Transportation Plan shall be eleven feet (11'), provided however that unenclosed porches, chimneys, eaves, and similar architectural features, bay or bow windows and sunrooms (being enclosed room no more than fifteen feet (15') in width and having glass on at least fifty percent (50%) of each encroaching face) may encroach into the setback up to five feet (5'), provided the structures are not in the visibility triangle.
  - d) Maximum building coverage shall be sixty percent (60%).
  - e) Minimum rear yard setback shall be fifteen feet (15').
  - f) Minimum masonry content for facades abutting Parker Road shall be ninety percent

(90%).

- g) Chimneys provided on homes adjacent to Parker Road shall be one hundred percent (100%) masonry or direct vent.
- h) All garage doors shall be a decorative wood or “faux wood” or equivalent paneled door.

2. Type 1: 41-foot wide single-family detached homes:

- a) Minimum lot width shall be forty-one feet (41').
- b) Minimum lot depth shall be one hundred-feet (100').
- c) Minimum lot area shall be four thousand one hundred-square feet (4,100 sf).
- d) Minimum interior side yard setback shall be five feet (5') or two (2') and eight (8') feet, as long as a minimum ten foot (10') separation remains between structures.
- e) Minimum home size shall be one thousand six hundred-square feet (1,600 sf), exclusive of garages and unenclosed breezeways or porches.

3. Type 2: 50-foot wide single-family detached homes:

- a) Minimum lot width shall be fifty feet (50').
- b) Minimum lot depth shall be one hundred and five feet (105').
- c) Minimum lot area shall be five thousand two hundred and fifty square feet (5,250 sf).
- d) Minimum interior side yard setback shall be five feet (5') or two (2') and eight (8') feet, as long as a minimum ten foot (10') separation remains between structures.
- e) Minimum home size shall be one thousand eight hundred-square feet (1,800 sf).

4. Type 3: 65-foot wide single-family detached homes:

- a) Minimum lot width shall be sixty-five feet (65').
- b) Minimum lot depth shall be one hundred and ten feet (110').
- c) Minimum lot area shall be seven thousand one hundred and fifty-square feet (7,150 sf).
- d) Minimum home size shall be two thousand-square feet (2,000 sf).
- e) Minimum interior side yard setback shall be five feet (5').

5. Type 4: 80-foot wide single-family detached homes:

- a) Minimum lot width shall be eighty feet (80').
- b) Minimum lot depth shall be one hundred and fifteen feet (115').
- c) Minimum lot area shall be nine thousand two hundred-square feet (9,200 sf).
- d) Minimum home size shall be two thousand two hundred square feet (2,200 sf).
- e) Minimum interior side yard setback shall be five feet (5').

#### IV. Tract 2 - Permitted Uses

Permitted uses shall be all principal and accessory uses which are allowed by right in the (MF-18) Multifamily Residential District, in accordance with Article V of the Comprehensive Zoning Ordinance, as amended, and shall be developed in accordance with all applicable regulations of the (MF-18) Multifamily Residential District and the Comprehensive Zoning Ordinance, as amended, except as otherwise provided in Section V below.

A Special Use Permit shall be required for all uses otherwise requiring a Special Use Permit in the (MF-18) Multifamily Residential District, in accordance with Article V of the Comprehensive Zoning Ordinance, as amended. Such Special Use Permit(s) shall be subject to the conditions established in Articles XX and XXXI of the Comprehensive Zoning Ordinance, as amended, and shall be developed in accordance with all applicable regulations.

#### V. Tract 2 - Special Development Standards

Development shall be in accordance with the following conditions restrictions, and regulations:

##### A. General

1. Maximum density (Dwelling units per net acre) shall be twenty and six-tenths (20.6) dwelling units per acre.
2. Entry drives or streets from Josey Lane or FM 544 shall include canopy trees with minimum six-feet (6') wide pedestrian sidewalks with building setbacks within ten feet (10') from street/drive sidewalks.
3. No parking spaces shall be allowed between FM 544 or Parker Road and buildings. Although parking spaces visible from FM 544/Parker Road are acceptable.
4. A twenty foot (20') landscape buffer shall be maintained from the front property line along FM 544 and Josey Lane.

##### B. Technical Site Plan Review

1. Technical site plan review for multi-family development is required by the Planning and Zoning Commission and final approval by City Council is required.
2. In addition to the requirement and review provisions of Article X, the following may be considered as part of the review:
  - a) Scale comparison with surrounding land uses and properties, including but not limited to cross-sections along adjacent streets, homes, comparison of building heights (and number of stories);
  - b) Preliminary proposed grading plans;
  - c) Colored building elevations with articulation, building materials, and roof profiles;
  - d) Site plan design including but not limited to circulation, amenities, accessory structures, and location/design of retention/detention;
  - e) Landscaping buffering including but not limited to street trees, parking lots, open space, and along FM 544 and Josey Lane.

**C. Special Parking Regulations:**

1. The off-street parking requirements shall exclude parking requirements for all recreational uses (i.e. pool, amenity center, etc.).
2. Shared parking across lot/parcel lines shall be allowed to satisfy the required off-street parking requirement for adjacent multi-family development only.
3. No outdoor storage of recreational vehicles, boats, or other large profile vehicles where such items are visible from the periphery of the property is allowed.

**D. Height and Area Regulations:**

1. Minimum floor area per dwelling unit for an efficiency unit shall be minimum five hundred square feet (500 sf) of living area.
2. Maximum height of structure shall be three (3) stories (A maximum height of four (4) stories is allowed where an enclosed garage occupies the first floor of the building).
3. Maximum amount of impervious coverage shall be ninety percent (90%) (as a percentage of total lot area).
4. Setbacks:
  - a) Main and accessory structures adjacent to property zoned to a Single-Family Residential District (SF) per the City of Carrollton Zoning Ordinance, FM 544, Josey Lane, or west property line shall have a minimum twenty-foot (20') setback.
  - b) Main and accessory structures abutting property zoned a Single Family Residential District (SF) per the City of Carrollton Zoning Ordinance to the east shall have a minimum fifteen-foot (15') setback.

**SECTION 3.**

The Comprehensive Zoning Ordinance and the Official Zoning Map are hereby amended to reflect the action taken herein.

**SECTION 4.**

Any person violating a provision of this ordinance, upon conviction, is guilty of an offense punishable as provided in Section 10.99 of the Carrollton City Code.

## SECTION 5.

The provisions of this ordinance are severable in accordance with Section 10.07 of the Carrollton City Code.

## SECTION 6.

This ordinance shall be cumulative of all provisions of ordinances of the City of Carrollton, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed.

## SECTION 7.

Ordinance Number 1470, otherwise known as the Comprehensive Zoning Ordinance and the Official Zoning Map, as amended, shall remain in full force and effect.

## SECTION 8.

This ordinance shall become and be effective on and after its adoption and publication.

PASSED AND APPROVED this the Twenty-Eighth day of February, 2017

CITY OF CARROLLTON

By: \_\_\_\_\_  
Doug Hrbacek, Mayor Pro Tem

ATTEST:

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Laurie Garber  
City Secretary

APPROVED AS TO FORM:

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Susan Keller  
Assistant City Attorney

APPROVED AS TO CONTENT:

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Loren Shapiro  
Chief Planner

## EXHIBIT A

CARROLLTON ANNEXATION  
144.130 ACRES  
T. WEST SURVEY, A-1345  
A. SINGLETON SURVEY, A-1138  
B. SCHOONOVER SURVEY, A-1209  
DENTON COUNTY, TEXAS

FIELD NOTES TO ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE T. WEST SURVEY, ABSTRACT NO. 1345, THE A. SINGLETON SURVEY, ABSTRACT NO. 1138 AND THE B. SCHOONOVER SURVEY, ABSTRACT NO. 1209, DENTON COUNTY, TEXAS, BEING A PART OF THAT CERTAIN CALLED 51.64 ACRE TRACT OF LAND DESCRIBED AS TRACT TWO IN DEED TO CLEMS YE OLDE HOMESTEAD FARMS, RECORDED IN DOCUMENT #2009-147771, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS, ALL OF THAT CERTAIN CALLED 31 ACRE TRACT OF LAND DESCRIBED AS TRACT ONE IN SAID DOCUMENT #2009-147771 AND PART OF THAT CERTAIN CALLED 168 ACRE TRACT OF LAND DESCRIBED IN DEED TO GLADYS MAY CRIDER, RECORDED IN VOLUME 195, PAGE 364, DEED RECORDS, DENTON COUNTY, 1/2 INTEREST CONVEYED TO KELLY CLEM AND CASEY CLEM BY DEED RECORDED IN VOLUME 2494, PAGE 887, DEED RECORDS, DENTON COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY NORTHEAST CORNER OF THE TRACT BEING DESCRIBED HEREIN AT A POINT 5 FEET WEST OF THE WEST RIGHT-OF-WAY LINE OF JOSEY LANE AND 5 FEET SOUTH OF THE SOUTH LINE OF THAT CERTAIN CALLED 19.413 ACRE TRACT OF LAND DESCRIBED IN DEED TO CADG LAKEWOOD HILLS SOUTH, LLC, RECORDED IN DOCUMENT #2014-129454, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS, FROM WHICH THE SOUTHEAST CORNER THEREOF BEARS NORTH 27 DEGREES 28 MINUTES 26 SECONDS EAST, A DISTANCE OF 6.23 FEET;

THENCE SOUTH 25 DEGREES 56 MINUTES 50 SECONDS EAST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 53.29 FEET TO A POINT FOR CORNER;

THENCE SOUTH 44 DEGREES 23 MINUTES 30 SECONDS EAST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 194.15 FEET TO A POINT FOR CORNER IN THE WEST LINE OF GRAHAM ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT #2010-197, PLAT RECORDS, DENTON COUNTY, TEXAS;

THENCE SOUTH 01 DEGREES 51 MINUTES 21 SECONDS EAST, WITH SAID WEST LINE, A DISTANCE OF 987.78 FEET MORE OR LESS TO A POINT IN THE SOUTH RIGHT-OF-WAY LINE OF F.M. 544 AND THE NORTH LINE OF THE CITY OF CARROLLTON CITY LIMITS FOR THE SOUTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE SOUTH 89 DEGREES 38 MINUTES 18 SECONDS WEST, WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 145.73 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 06 MINUTES 26 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 106.25 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 06 MINUTES 15 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 1176.80 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 59 MINUTES 58 SECONDS WEST, A DISTANCE OF 5.00 FEET TO A POINT FOR CORNER 5 FEET NORTH OF THE SOUTH RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE SOUTH 89 DEGREES 00 MINUTES 02 SECONDS WEST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 872.86 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE PARALLEL WITH SAID RIGHT-OF-WAY LINE AND WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 221.78 FEET, A RADIUS OF 603.02 FEET, A CENTRAL ANGLE OF 20 DEGREES 53 MINUTES 55 SECONDS, AND A CHORD THAT BEARS NORTH 80 DEGREES 22 MINUTES 09 SECONDS WEST, A DISTANCE OF 220.55 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 89 DEGREES 18 MINUTES 15 SECONDS WEST, A DISTANCE OF 57.44 FEET TO A POINT FOR CORNER IN THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE NORTH 60 DEGREES 20 MINUTES 31 SECONDS WEST, WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 632.87 FEET TO A POINT 5 FEET EAST OF THE WEST LINE OF SAID TRACT TWO FOR THE SOUTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE NORTH 01 DEGREES 07 MINUTES 27 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO, A DISTANCE OF 139.00 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 32 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO, A DISTANCE OF 245.62 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 39 MINUTES 37 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO AND 5 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID TRACT ONE, A DISTANCE OF 2338.14 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE PARALLEL WITH THE WEST LINE OF SAID TRACT ONE AND WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 310.86 FEET, A RADIUS OF 595.00 FEET, A CENTRAL ANGLE OF 29 DEGREES 54 MINUTES 53 SECONDS, AND A CHORD THAT BEARS NORTH 14 DEGREES 15 MINUTES 51 SECONDS EAST, A DISTANCE OF 307.14 FEET TO THE POINT OF REVERSE CURVE;

THENCE PARALLEL WITH THE WEST LINE OF SAID TRACT ONE AND WITH SAID REVERSE CURVE TO THE LEFT, AN ARC LENGTH OF 18.07 FEET, A RADIUS OF 605.00 FEET, A CENTRAL ANGLE OF 01 DEGREES 42 MINUTES 41 SECONDS, AND A CHORD THAT BEARS NORTH 28 DEGREES 21 MINUTES 58 SECONDS EAST, A DISTANCE OF 18.07 FEET TO A POINT 5 FEET SOUTH OF THE NORTH LINE OF SAID TRACT ONE FOR THE NORTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

## NOTES:

1. BEARING BASIS DERIVED FROM GPS OBSERVATIONS MADE ON THE GROUND, TEXAS NORTH CENTRAL NAD 83.
2. THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTEREST IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTEREST IMPLIED OR ESTABLISHED BY THE CREATION OR RECREATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

CARROLLTON ANNEXATION  
144.130 ACRES  
DENTON COUNTY, TEXAS



301 W. BROADWAY ST.  
GAINESVILLE, TX 76240  
PH. 940-665-9105  
FAX. 940-665-9106  
TBPLS FIRM NO. 10040000

DRAWN BY: CJ	DATE: 11/09/2016	JOB NO. 1512.0326-2	SCALE: 1" = 500'	PAGE: 5 OF 6
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## EXHIBIT A

THENCE NORTH 89 DEGREES 23 MINUTES 57 SECONDS EAST, PARALLEL WITH SAID NORTH LINE, A DISTANCE OF 1633.18 FEET TO A POINT 5 FEET WEST OF THE EAST LINE OF SAID TRACT ONE FOR THE MOST NORTHERLY NORTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE SOUTH 00 DEGREES 58 MINUTES 02 SECONDS EAST, PARALLEL WITH SAID EAST LINE AND 5 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID CLEM AND CRIDER TRACT, A DISTANCE OF 2163.83 FEET TO A POINT FOR CORNER;

THENCE SOUTH 88 DEGREES 42 MINUTES 42 SECONDS WEST, A DISTANCE OF 163.66 FEET TO A POINT FOR CORNER;

THENCE SOUTH 42 DEGREES 55 MINUTES 38 SECONDS WEST, A DISTANCE OF 69.88 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 25 MINUTES 50 SECONDS WEST, A DISTANCE OF 92.18 FEET TO A POINT FOR CORNER;

THENCE SOUTH 74 DEGREES 24 MINUTES 19 SECONDS WEST, A DISTANCE OF 364.91 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 50.72 FEET, A RADIUS OF 59.00 FEET, A CENTRAL ANGLE OF 49 DEGREES 15 MINUTES 07 SECONDS, AND A CHORD THAT BEARS SOUTH 27 DEGREES 22 MINUTES 09 SECONDS EAST, A DISTANCE OF 49.17 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 02 DEGREES 44 MINUTES 36 SECONDS EAST, A DISTANCE OF 369.26 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 12.41 FEET, A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 14 DEGREES 13 MINUTES 09 SECONDS, AND A CHORD THAT BEARS SOUTH 09 DEGREES 51 MINUTES 10 SECONDS EAST, A DISTANCE OF 12.38 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 16 DEGREES 57 MINUTES 44 SECONDS EAST, A DISTANCE OF 98.33 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 11.99 FEET, A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 13 DEGREES 44 MINUTES 35 SECONDS, AND A CHORD THAT BEARS SOUTH 10 DEGREES 05 MINUTES 27 SECONDS EAST, A DISTANCE OF 11.96 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 03 DEGREES 13 MINUTES 09 SECONDS EAST, A DISTANCE OF 162.93 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 30.40 FEET, A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 87 DEGREES 06 MINUTES 11 SECONDS, AND A CHORD THAT BEARS SOUTH 46 DEGREES 46 MINUTES 15 SECONDS EAST, A DISTANCE OF 27.56 FEET TO THE END OF SAID CURVE;

THENCE NORTH 89 DEGREES 40 MINUTES 39 SECONDS EAST, A DISTANCE OF 272.51 FEET TO A POINT FOR CORNER;

THENCE SOUTH 00 DEGREES 55 MINUTES 33 SECONDS EAST, A DISTANCE OF 195.47 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 42.73 FEET, A RADIUS OF 390.00 FEET, A CENTRAL ANGLE OF 06 DEGREES 16 MINUTES 37 SECONDS, AND A CHORD THAT BEARS SOUTH 04 DEGREES 03 MINUTES 52 SECONDS EAST, A DISTANCE OF 42.70 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 07 DEGREES 12 MINUTES 10 SECONDS EAST, A DISTANCE OF 3.01 FEET TO A POINT FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE NORTH 88 DEGREES 04 MINUTES 27 SECONDS EAST, WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 175.39 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 27 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 32.49 FEET TO A POINT FOR CORNER;

THENCE NORTH 88 DEGREES 01 MINUTES 44 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 89.22 FEET TO A POINT FOR CORNER;

THENCE SOUTH 01 DEGREES 15 MINUTES 48 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 22.71 FEET TO A POINT FOR CORNER;

THENCE NORTH 89 DEGREES 04 MINUTES 17 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 457.51 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 43 SECONDS WEST, A DISTANCE OF 182.10 FEET TO A POINT FOR CORNER;

THENCE NORTH 02 DEGREES 11 MINUTES 42 SECONDS EAST, A DISTANCE OF 473.52 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 25 MINUTES 08 SECONDS EAST, A DISTANCE OF 274.64 FEET TO A POINT FOR CORNER 5 FEET SOUTH OF THE SOUTH LINE OF SAID LAKWOOD HILLS TRACT;

THENCE NORTH 80 DEGREES 53 MINUTES 43 SECONDS EAST, PARALLEL WITH SAID SOUTH LINE, A DISTANCE OF 758.65 FEET TO THE POINT OF BEGINNING AND CONTAINING 144.130 ACRES OF LAND, MORE OR LESS.

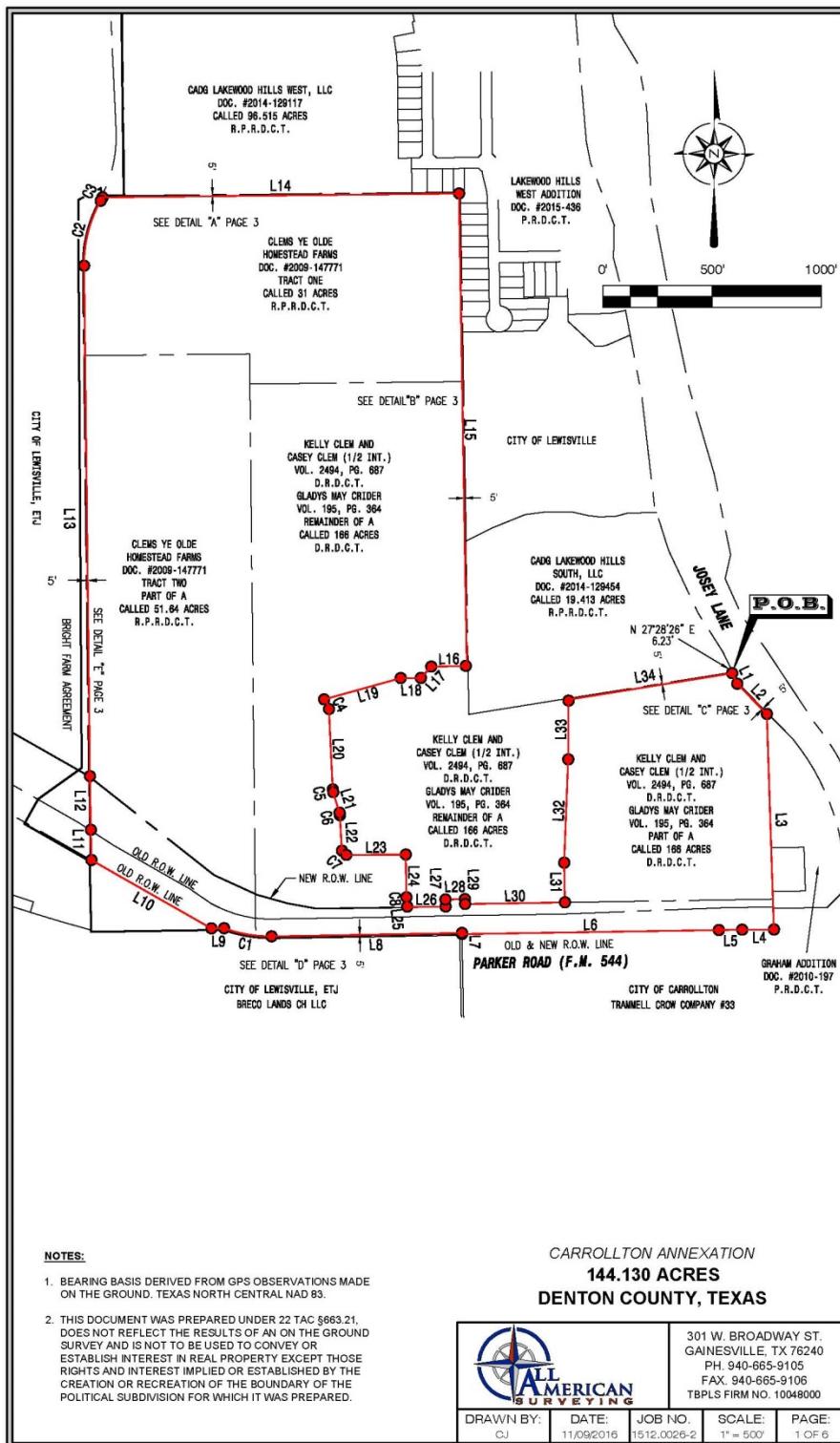
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2. THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTEREST IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTEREST IMPLIED OR ESTABLISHED BY THE CREATION OR RECREATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

 CARROLLTON ANNEXATION  
**144.130 ACRES**  
 DENTON COUNTY, TEXAS

		301 W. BROADWAY ST. GAINESVILLE, TX 76240 PH. 940-665-9105 FAX. 940-665-9106 TRPLS FIRM NO. 10048000		
DRAWN BY: CJ	DATE: 11/09/2016	JOB NO. 1512.0026-2	SCALE: 1" = 500'	PAGE: 5 OF 6

## EXHIBIT B



## EXHIBIT B

LINE	BEARING	DISTANCE
L1	S 25°56'50" E	53.29'
L2	S 44°23'30" E	194.15'
L3	S 01°51'21" E	987.78'
L4	S 89°38'18" W	145.73'
L5	S 89°06'26" W	106.25'
L6	S 89°06'15" W	1176.80'
L7	N 00°59'58" W	5.00'
L8	S 89°00'02" W	872.86'
L9	S 89°18'15" W	57.44'
L10	N 60°20'31" W	632.87'
L11	N 01°07'27" W	139.00'
L12	N 00°55'32" W	245.62'
L13	N 00°39'37" W	2338.14'
L14	N 89°23'57" E	1633.18'
L15	S 00°58'02" E	2163.83'
L16	S 88°42'42" W	163.66'
L17	S 42°55'38" W	69.88'
L18	S 89°25'50" W	92.18'
L19	S 74°24'19" W	364.91'
L20	S 02°44'36" E	369.26'
L21	S 16°57'44" E	98.33'
L22	S 03°13'09" E	162.93'
L23	N 89°40'39" E	272.51'
L24	S 00°55'33" E	195.47'
L25	S 07°12'10" E	3.01'
L26	N 89°04'27" E	175.39'
L27	N 00°55'27" W	32.49'
L28	N 89°01'44" E	89.22'
L29	S 01°15'48" E	22.71'
L30	N 89°04'17" E	457.51'
L31	N 00°55'43" W	182.10'
L32	N 02°11'42" E	473.52'
L33	N 00°25'08" E	274.64'
L34	N 80°53'43" E	758.65'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	608.02'	221.78'	220.55'	N 80°22'09" W	20°53'55"
C2	595.00'	310.66'	307.14'	N 14°15'51" E	29°54'53"
C3	605.00'	18.07'	18.07'	N 28°21'58" E	1°42'41"
C4	59.00'	50.72'	49.17'	S 27°22'09" E	49°15'07"
C5	50.00'	12.41'	12.38'	S 09°51'10" E	14°13'09"
C6	50.00'	11.99'	11.96'	S 10°05'27" E	13°44'35"
C7	20.00'	30.40'	27.56'	S 46°46'15" E	87°06'11"
C8	390.00'	42.73'	42.70'	S 04°03'52" E	6°16'37"

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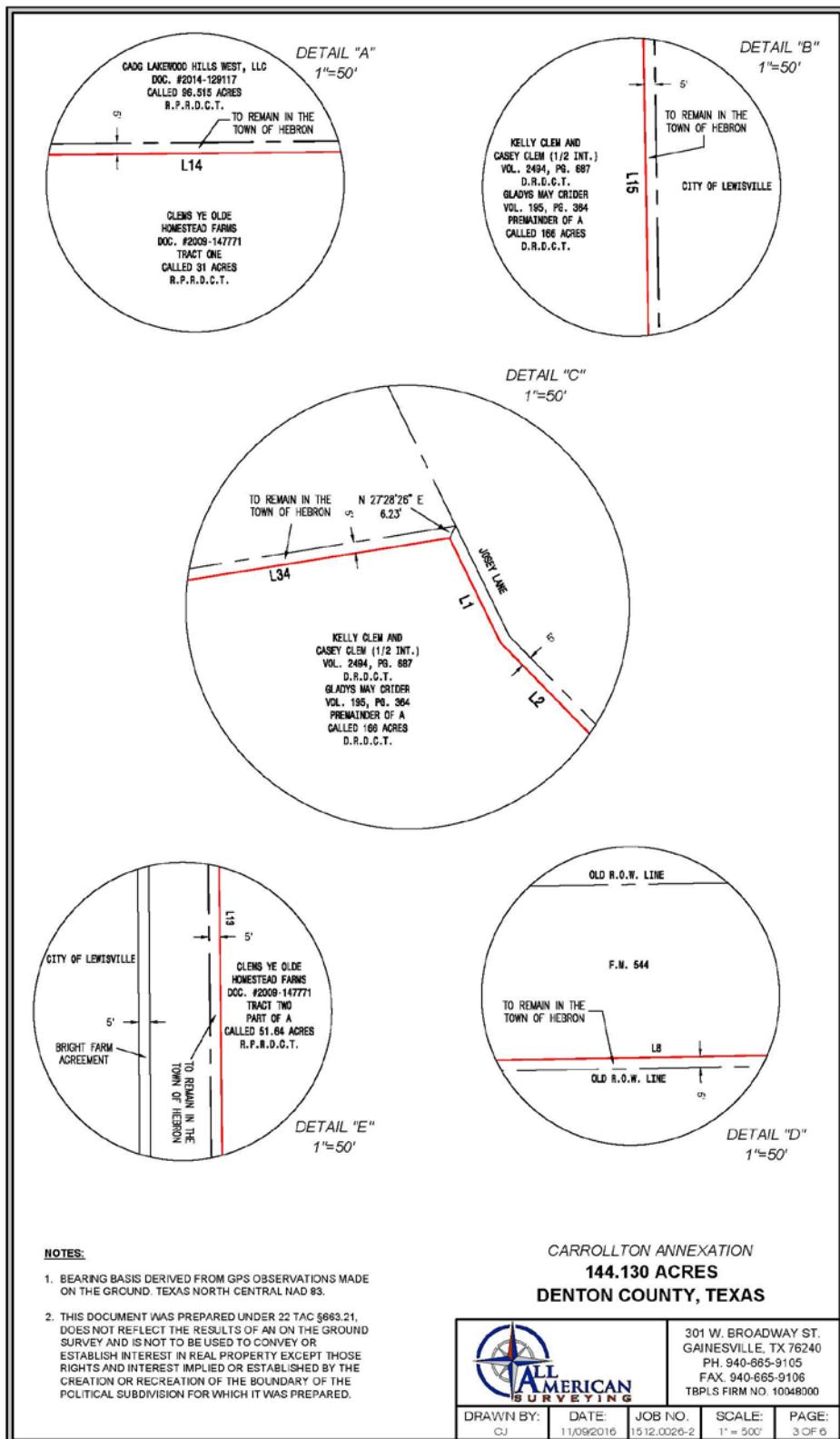
## CARROLLTON ANNEXATION

144.130 ACRES  
DENTON COUNTY, TEXAS

301 W. BROADWAY ST.  
GAINESVILLE, TX 76240  
PH. 940-665-9105  
FAX. 940-665-9106  
TBPLS FIRM NO. 10048000

DRAWN BY: DATE: JOB NO. SCALE: PAGE:  
CJ 11/09/2016 1512.0026-2 1" = 500' 2 OF 6

## EXHIBIT B



## **EXHIBIT C**

### **Conceptual Site Plan**



**EXHIBIT D**  
**Conceptual Landscape and Buffering Plan**

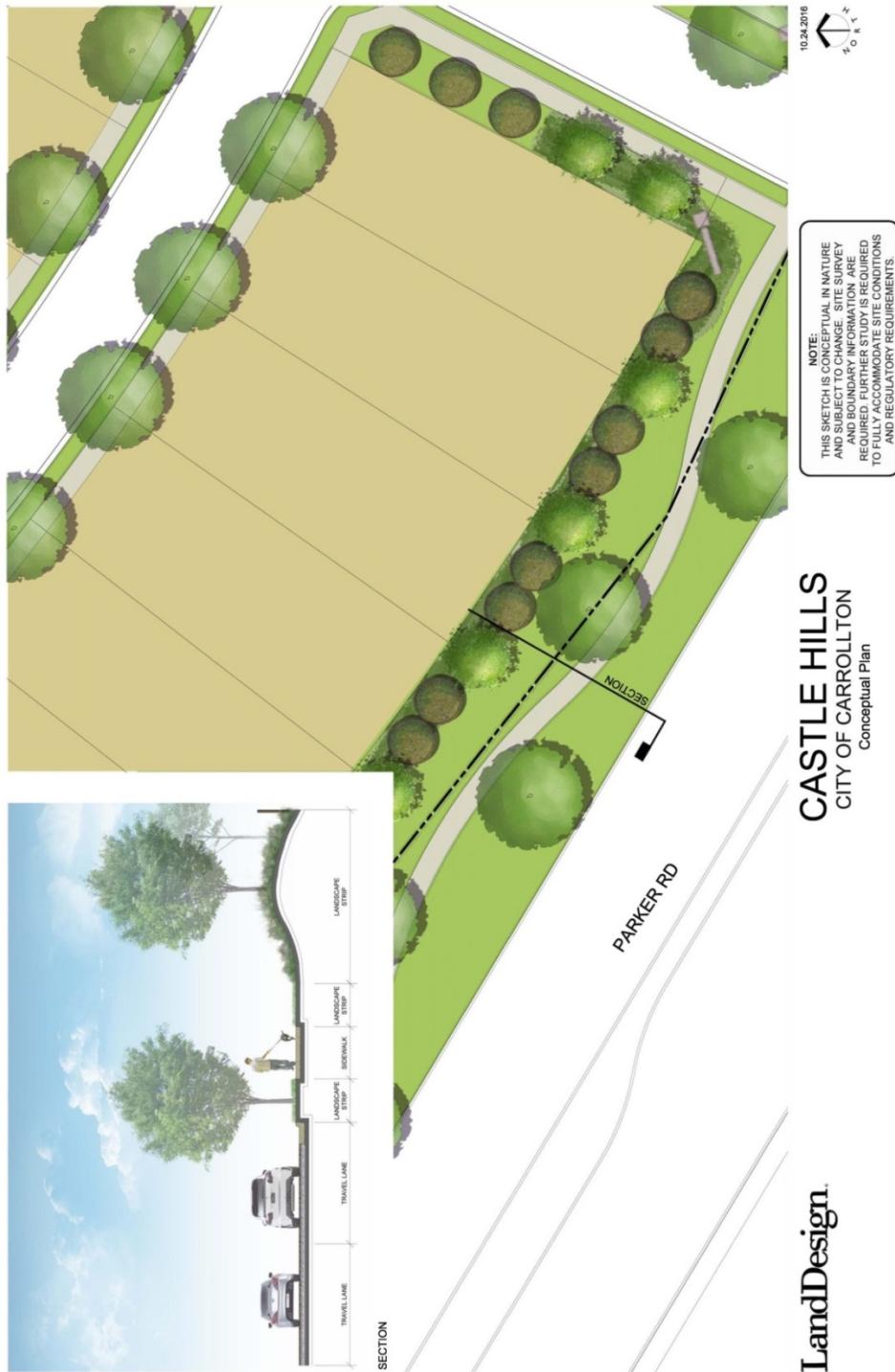


**EXHIBIT D**  
**Conceptual Landscape and Buffering Plan**

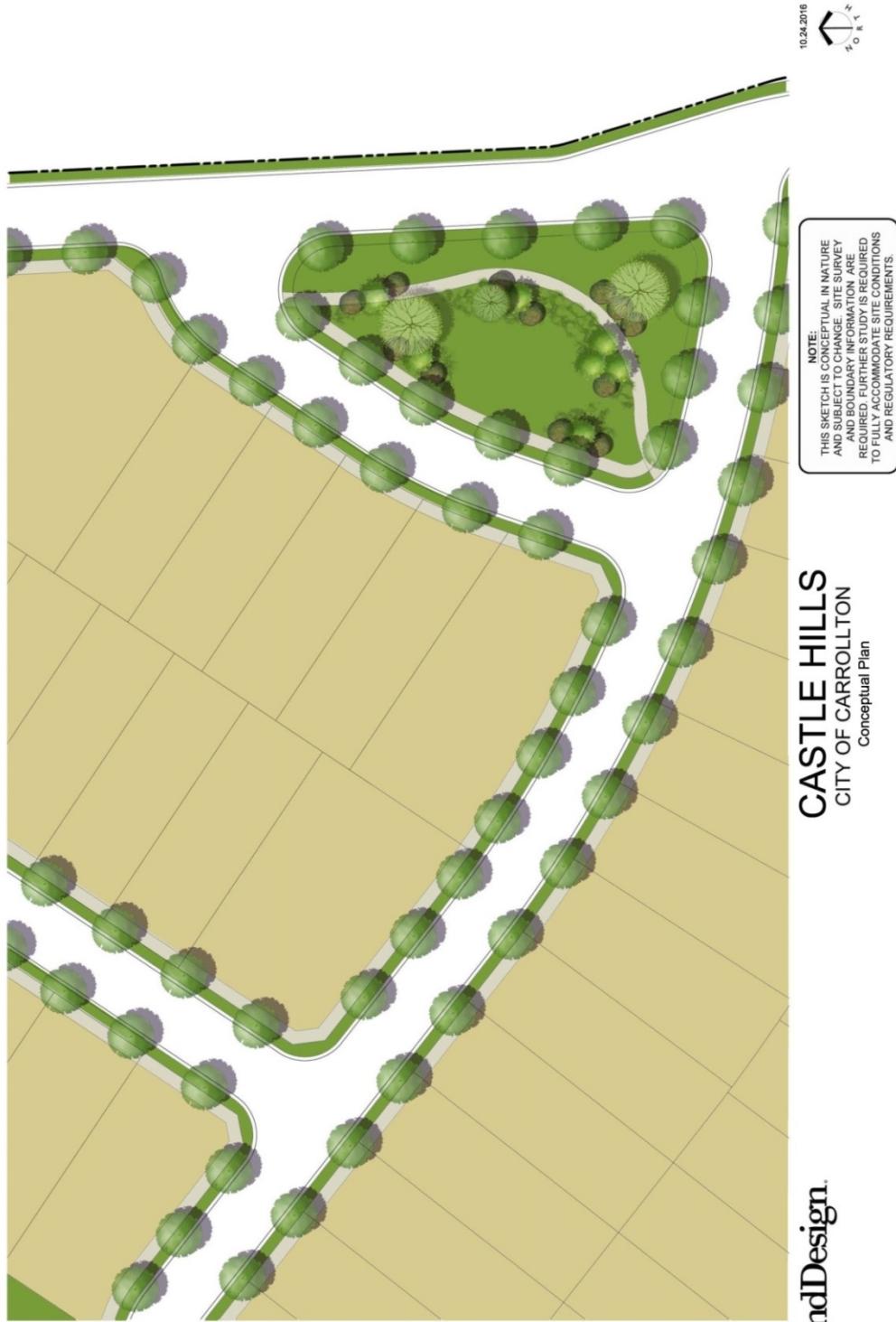


## **EXHIBIT D**

### **Conceptual Landscape and Buffering Plan**



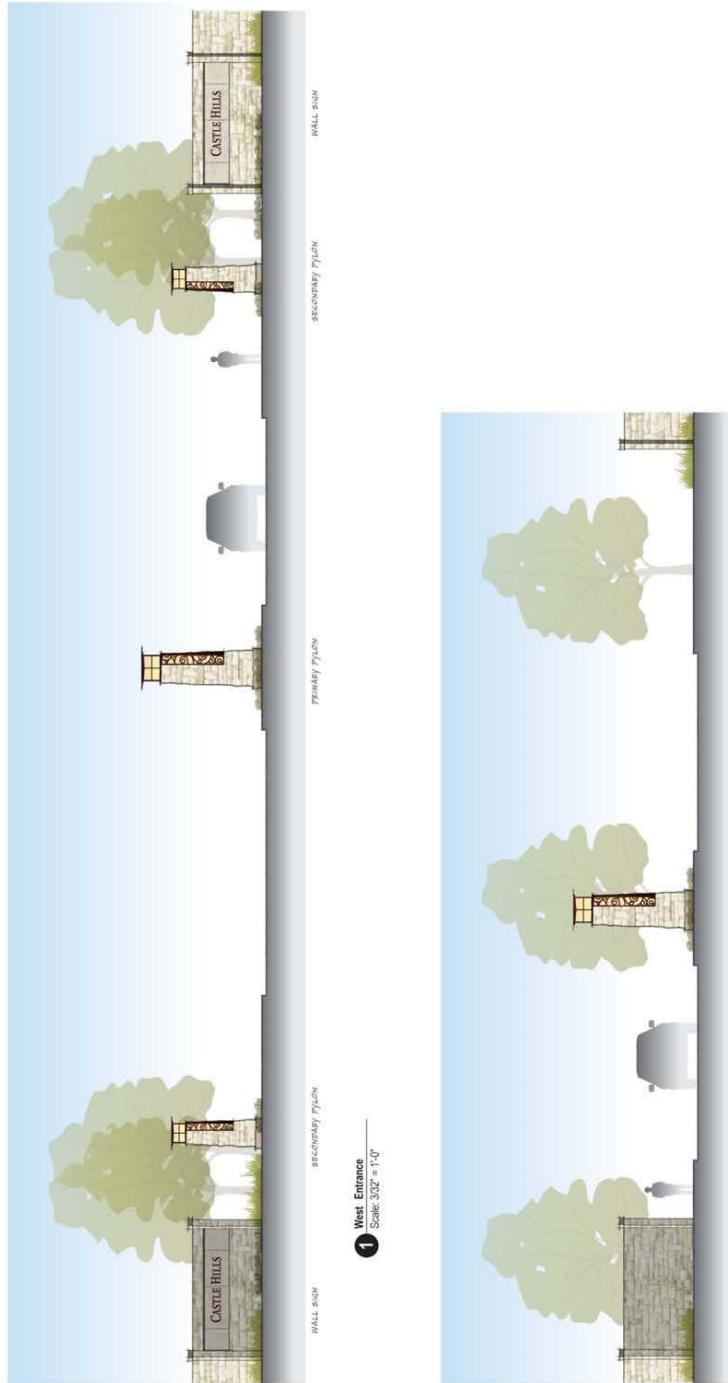
**EXHIBIT D**  
**Conceptual Landscape and Buffering Plan**



**EXHIBIT D**  
**Conceptual Landscape and Buffering Plan**



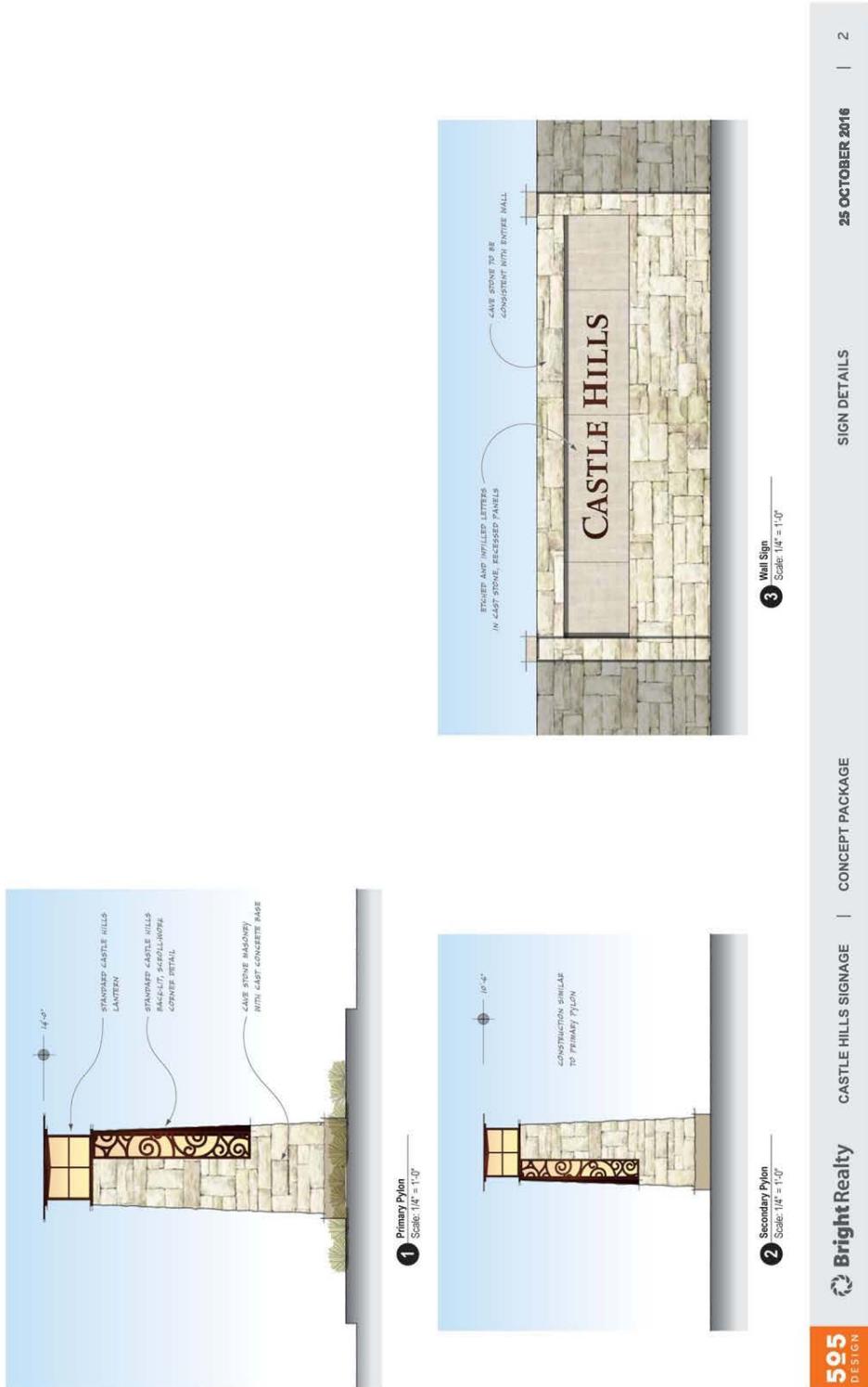
**EXHIBIT E**  
**Conceptual Entry Wall & Signs**



SIGN FAMILY OVERVIEW | 25 OCTOBER 2016 | 1

**595**  
DESIGN

**EXHIBIT E**  
**Conceptual Entry Wall & Signs**



Ord. No. \_\_\_\_\_



# City of Carrollton

## Agenda Memo

File Number: 3132

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**Agenda Date:** 2/28/2017

**Version:** 1

**Status:** Public  
Hearing/Individual  
Consideration

**In Control:** City Council

**File Type:** Public Hearing

**Agenda Number:** 6.

**CC MEETING: February 28, 2017**

**DATE:** February 16, 2017

**TO:** Erin Rinehart, City Manager

**FROM:** Marc Guy, Assistant City Manager

Hold A Public Hearing And Consider A Resolution Authorizing And Creating The Carrollton Castle Hills Public Improvement District No. 2 On A 144.13-Acre Tract Generally Located At The Northwest Corner Of The Intersection Of Parker Road/FM 544 And Josey Lane.

### **BACKGROUND:**

The City has received a petition to create a public improvement district (PID). The boundary of the PID will coincide with the 144.13-acre tract near the northwest corner of the intersection of Parker Road/FM 544 and Josey Lane. The property will be developed for single-family detached homes and multi-family as a future phase of Castle Hills. The purpose of the PID will be to fund site improvements and infrastructure that will support development within the district such as water and wastewater utilities, drainage, streets and sidewalks.

The resolution is to authorize and create the public improvement district.

### **FINANCIAL IMPLICATIONS:**

There will be a cost to the City for administration of the PID, which will be reimbursed to the City by the PID through the annual homeowner assessments.

### **STAFF RECOMMENDATION/ACTION DESIRED:**

Staff recommends City Council hold a public hearing and approve a resolution authorizing and creating a public improvement district on the 144.13-acre tract generally located near the northwest corner of the intersection of Parker Road/FM 544 and Josey Lane.

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARROLLTON, TEXAS, AUTHORIZING AND CREATING THE CARROLLTON CASTLE HILLS PUBLIC IMPROVEMENT DISTRICT NO. 2 WITHIN THE CORPORATE LIMITS OF THE CITY OF CARROLLTON PURSUANT TO CHAPTER 372, TEXAS LOCAL GOVERNMENT CODE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City Council of the City (the “City Council”) of Carrollton, Texas (the “City”) received a petition, dated January 10, 2017 (the “Petition”) requesting creation of a public improvement district (the “District”) within the corporate limits of the City under Chapter 372 of the Texas Local Government Code (the “Act”), from the record owners of taxable real property representing more than fifty percent (50%) of the appraised value of the real property liable for assessment (as determined by the most recent certified appraisal roll for Denton County) in the proposed District and the record owners of taxable real property that constitute more than 50% of all of the area of all taxable real property that is liable for assessment under the proposal; and

**WHEREAS**, the Petition, has been examined, verified, and found to meet the requirements of Section 372.005(b) of the Act and to be sufficient for consideration by the City Council; and

**WHEREAS**, the boundaries of the proposed District are described in Exhibit A attached hereto, said area for the District being within the corporate limits of the City; and

**WHEREAS**, after providing all notices required by Section 372.009 of the Act, the City, on February 28, 2017, conducted a public hearing on the advisability of the improvements and services described in the Petition (the “Public Improvements”); and

**WHEREAS**, the City Council closed the public hearing and considered the comments made, if any.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CARROLLTON, TEXAS, THAT:**

**SECTION 1**

All of the above premises are found to be true and correct legislative and factual findings of the City Council, and they are hereby approved, ratified and incorporated into the body of this Resolution as if copied in their entirety.

**SECTION 2**

The Petition submitted to the City was filed with the City Secretary and complies with Subchapter A of the Act.

## **SECTION 3**

Pursuant to the requirements of the Act, the City Council, after considering the Petition and the evidence and testimony presented at the public hearing on February 28, 2017, hereby finds and declares:

- (a) Advisability of the Proposed Improvements. It is advisable to create the District to provide the public improvements and services described in the Petition and this Resolution. The Public Improvements will promote the interests of the City and will confer a special benefit on the District.
- (b) General Nature of the Improvements. The general nature of the proposed public improvements to be provided by the District, in phases, is the (i) acquisition, construction and improvement of water, wastewater or drainage facilities and improvements, including reclamation of lands; (ii) acquiring, constructing, improving, widening, narrowing, closing or rerouting streets, roadways or their rights-of-way; (iii) acquisition, by purchase or otherwise, of real property or contract rights in connection with each authorized improvement; and (iv) payment of expenses incurred in the establishment, administration and operation of the District.
- (c) Estimated Cost of the Public Improvements. The estimated cost to fund the Public Improvements is \$11,000,000 plus the annual administrative costs of the District that will be determined annually by the City.
- (d) Boundaries. The boundaries of the Carrollton Castle Hills Public Improvement District No. 2 are set forth in Exhibit A.
- (e) Proposed Method of Assessment. The City shall levy assessments on each lot or tract within the District in a manner and using an assessment methodology that results in imposing equal shares of the costs on property similarly benefited. All assessments may be paid in full at any time (including accrued and unpaid interest), or in annual installments (including interest). If an assessment is allowed to be paid in installments, then the installments must be paid in amounts necessary to meet annual costs for those Public Improvements financed in whole or in part by the assessment, and must continue for a period necessary to retire the indebtedness on those Public Improvements (including interest). A report will be prepared showing the special benefit accruing to property in the District and how the costs of the Public Improvements are assessed to property on the basis of special benefit.
- (f) Apportionment of Cost between the City and the District. All of the costs of the Public Improvements will be paid from assessments levied on properties within the District or from other sources of funds, if any, available to the District.
- (g) Management of the District. The District shall be managed by the City or with the assistance of a consultant, who shall, from time to time, advise the City regarding certain operations of the District.

(h) Advisory Body. The District shall be managed without the creation of an advisory body.

#### **SECTION 4**

The Carrollton Castle Hills Public Improvement District No. 2 is hereby authorized and created as a Public Improvement District under the Act in accordance with the findings as to the advisability of the Public Improvements contained in this Resolution.

#### **SECTION 5**

The City's staff is directed to give notice of the authorization for the establishment of the Carrollton Castle Hills Public Improvement District No. 2 by publishing a copy of this Resolution once in a newspaper of general circulation within the corporate limits of the City and the boundaries of the District. Such authorization shall take effect and the Carrollton Castle Hills Public Improvement District No. 2 shall be deemed to be established effective upon the publication of such notice. The Carrollton Castle Hills Public Improvement District No. 2 shall exist until dissolved or terminated as provided by law.

#### **SECTION 6**

This Resolution shall take effect immediately from and after its passage and it is accordingly so resolved.

**PASSED AND APPROVED this 28th day of February, 2017.**

**CITY OF CARROLLTON, TEXAS**

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Doug Hrbacek, Mayor Pro Tem

**ATTEST:**

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Laurie Garber, City Secretary

APPROVED AS TO FORM:

---

Meredith A. Ladd, City Attorney

APPROVED AS TO CONTENT:

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Marc Guy, Assistant City Manager

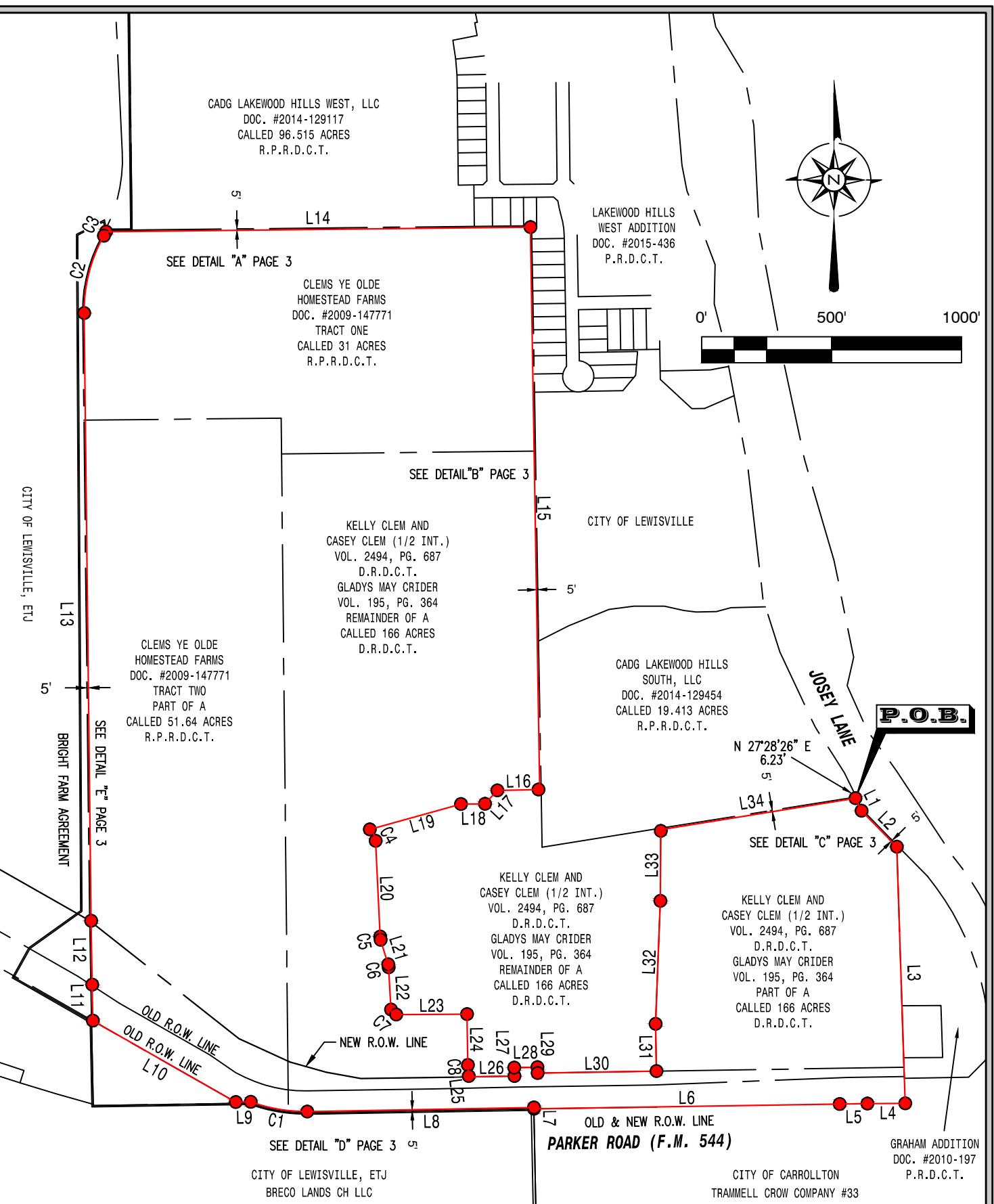
## **EXHIBIT A**

### **BOUNDARIES AND MAP**

#### **Boundaries: Carrollton Castle Hills Public Improvement District**

The proposed Carrollton Castle Hills Public Improvement District No. 2 is approximately 144.130 acres all of which is located in the Carrollton city limits bounded by Josey Lane and Parker Road. A full description of the boundaries of the proposed Carrollton Castle Hills Public Improvement District No. 2 is available at City Hall, the City of Carrollton, 1945 E. Jackson Road, Carrollton, Texas 75006.

(Map -See attached)



NOTES:

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CARROLLTON ANNEXATION  
144.130 ACRES  
DENTON COUNTY, TEXAS



301 W. BROADWAY ST.  
GAINESVILLE, TX 76240  
PH. 940-665-9105  
FAX. 940-665-9106  
TBPLS FIRM NO. 10048000

DRAWN BY: CJ	DATE: 11/09/2016	JOB NO. 1512.0026-2	SCALE: 1" = 500'	PAGE: 1 OF 6
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LINE	BEARING	DISTANCE
L1	S 25°56'50" E	53.29'
L2	S 44°23'30" E	194.15'
L3	S 01°51'21" E	987.78'
L4	S 89°38'18" W	145.73'
L5	S 89°06'26" W	106.25'
L6	S 89°06'15" W	1176.80'
L7	N 00°59'58" W	5.00'
L8	S 89°00'02" W	872.86'
L9	S 89°18'15" W	57.44'
L10	N 60°20'31" W	632.87'
L11	N 01°07'27" W	139.00'
L12	N 00°55'32" W	245.62'
L13	N 00°39'37" W	2338.14'
L14	N 89°23'57" E	1633.18'
L15	S 00°58'02" E	2163.83'
L16	S 88°42'42" W	163.66'
L17	S 42°55'38" W	69.88'
L18	S 89°25'50" W	92.18'
L19	S 74°24'19" W	364.91'
L20	S 02°44'36" E	369.26'
L21	S 16°57'44" E	98.33'
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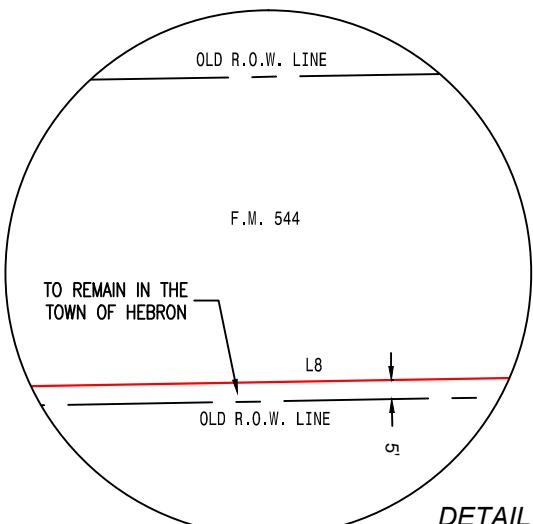
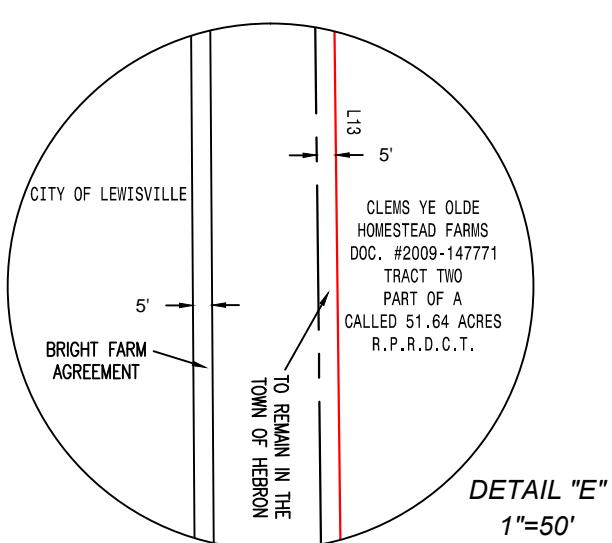
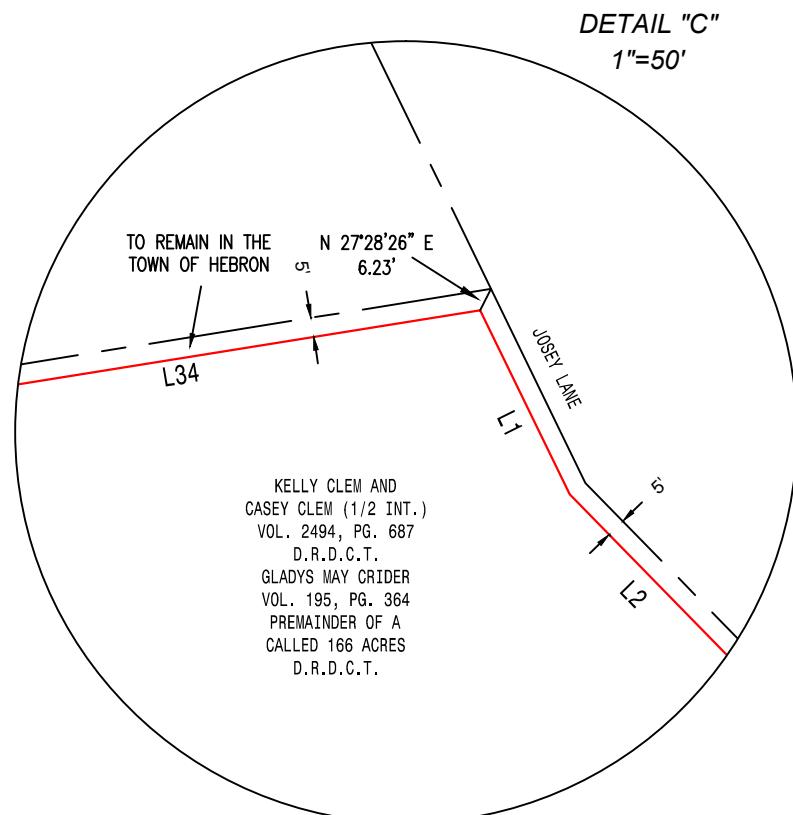
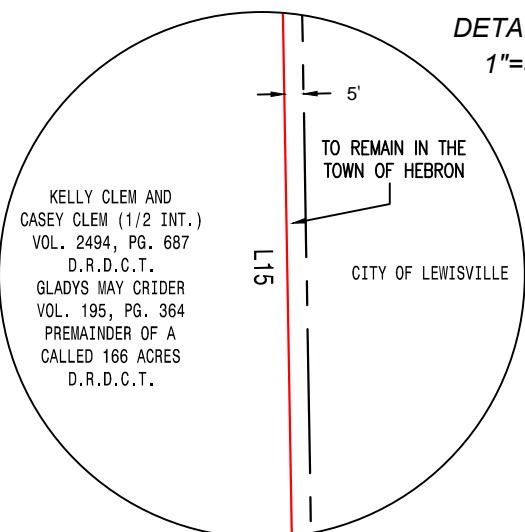
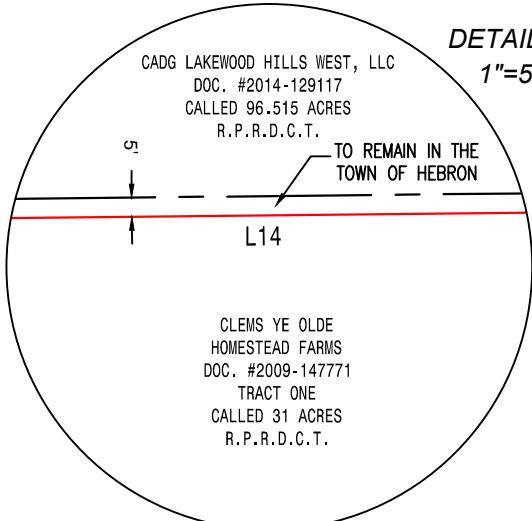
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	608.02'	221.78'	220.55'	N 80°22'09" W	20°53'55"
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144.130 ACRES  
DENTON COUNTY, TEXAS**

	301 W. BROADWAY ST. GAINESVILLE, TX 76240 PH. 940-665-9105 FAX. 940-665-9106 TBPLS FIRM NO. 10048000		
	DRAWN BY: CJ	DATE: 11/09/2016	JOB NO. 1512.0026-2
		PAGE: 2 OF 6	



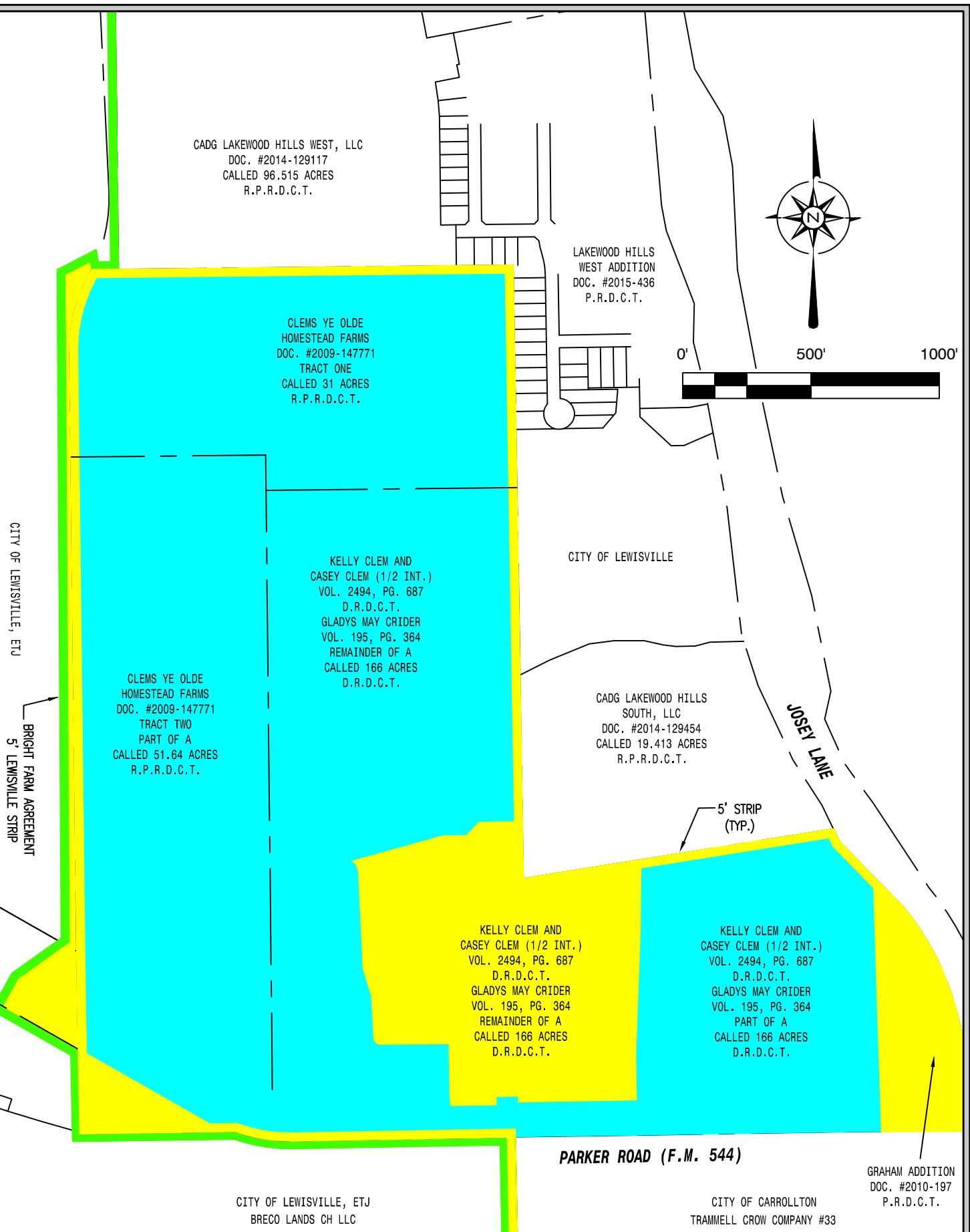
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CARROLLTON ANNEXATION  
144.130 ACRES  
T. WEST SURVEY, A-1345  
A. SINGLETON SURVEY, A-1138  
B. SCHOONOVER SURVEY, A-1209  
DENTON COUNTY, TEXAS

FIELD NOTES TO ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE T. WEST SURVEY, ABSTRACT NO. 1345, THE A. SINGLETON SURVEY, ABSTRACT NO. 1138 AND THE B. SCHOONOVER SURVEY, ABSTRACT NO. 1209, DENTON COUNTY, TEXAS, BEING A PART OF THAT CERTAIN CALLED 51.64 ACRE TRACT OF LAND DESCRIBED AS TRACT TWO IN DEED TO CLEMS YE OLDE HOMESTEAD FARMS, RECORDED IN DOCUMENT #2009-147771, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS, ALL OF THAT CERTAIN CALLED 31 ACRE TRACT OF LAND DESCRIBED AS TRACT ONE IN SAID DOCUMENT #2009-147771 AND PART OF THAT CERTAIN CALLED 166 ACRE TRACT OF LAND DESCRIBED IN DEED TO GLADYS MAY CRIDER, RECORDED IN VOLUME 195, PAGE 364, DEED RECORDS, DENTON COUNTY, 1/2 INTEREST CONVEYED TO KELLY CLEM AND CASEY CLEM BY DEED RECORDED IN VOLUME 2494, PAGE 687, DEED RECORDS, DENTON COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY NORTHEAST CORNER OF THE TRACT BEING DESCRIBED HEREIN AT A POINT 5 FEET WEST OF THE WEST RIGHT-OF-WAY LINE OF JOSEY LANE AND 5 FEET SOUTH OF THE SOUTH LINE OF THAT CERTAIN CALLED 19.413 ACRE TRACT OF LAND DESCRIBED IN DEED TO CADG LAKWOOD HILLS SOUTH, LLC, RECORDED IN DOCUMENT #2014-129454, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS, FROM WHICH THE SOUTHEAST CORNER THEREOF BEARS NORTH 27 DEGREES 28 MINUTES 26 SECONDS EAST, A DISTANCE OF 6.23 FEET;

THENCE SOUTH 25 DEGREES 56 MINUTES 50 SECONDS EAST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 53.29 FEET TO A POINT FOR CORNER;

THENCE SOUTH 44 DEGREES 23 MINUTES 30 SECONDS EAST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 194.15 FEET TO A POINT FOR CORNER IN THE WEST LINE OF GRAHAM ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT #2010-197, PLAT RECORDS, DENTON COUNTY, TEXAS;

THENCE SOUTH 01 DEGREES 51 MINUTES 21 SECONDS EAST, WITH SAID WEST LINE, A DISTANCE OF 987.78 FEET MORE OR LESS TO A POINT IN THE SOUTH RIGHT-OF-WAY LINE OF F.M. 544 AND THE NORTH LINE OF THE CITY OF CARROLLTON CITY LIMITS FOR THE SOUTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE SOUTH 89 DEGREES 38 MINUTES 18 SECONDS WEST, WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 145.73 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 06 MINUTES 26 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 106.25 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 06 MINUTES 15 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE AND SAID CITY LIMITS, A DISTANCE OF 1176.80 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 59 MINUTES 58 SECONDS WEST, A DISTANCE OF 5.00 FEET TO A POINT FOR CORNER 5 FEET NORTH OF THE SOUTH RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE SOUTH 89 DEGREES 00 MINUTES 02 SECONDS WEST, PARALLEL WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 872.86 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE PARALLEL WITH SAID RIGHT-OF-WAY LINE AND WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 221.78 FEET, A RADIUS OF 608.02 FEET, A CENTRAL ANGLE OF 20 DEGREES 53 MINUTES 55 SECONDS, AND A CHORD THAT BEARS NORTH 80 DEGREES 22 MINUTES 09 SECONDS WEST, A DISTANCE OF 220.55 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 89 DEGREES 18 MINUTES 15 SECONDS WEST, A DISTANCE OF 57.44 FEET TO A POINT FOR CORNER IN THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE NORTH 60 DEGREES 20 MINUTES 31 SECONDS WEST, WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 632.87 FEET TO A POINT 5 FEET EAST OF THE WEST LINE OF SAID TRACT TWO FOR THE SOUTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE NORTH 01 DEGREES 07 MINUTES 27 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO, A DISTANCE OF 139.00 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 32 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO, A DISTANCE OF 245.62 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 39 MINUTES 37 SECONDS WEST, PARALLEL WITH THE WEST LINE OF SAID TRACT TWO AND 5 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID TRACT ONE, A DISTANCE OF 2338.14 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE PARALLEL WITH THE WEST LINE OF SAID TRACT ONE AND WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 310.66 FEET, A RADIUS OF 595.00 FEET, A CENTRAL ANGLE OF 29 DEGREES 54 MINUTES 53 SECONDS, AND A CHORD THAT BEARS NORTH 14 DEGREES 15 MINUTES 51 SECONDS EAST, A DISTANCE OF 307.14 FEET TO THE POINT OF REVERSE CURVE;

THENCE PARALLEL WITH THE WEST LINE OF SAID TRACT ONE AND WITH SAID REVERSE CURVE TO THE LEFT, AN ARC LENGTH OF 18.07 FEET, A RADIUS OF 605.00 FEET, A CENTRAL ANGLE OF 01 DEGREES 42 MINUTES 41 SECONDS, AND A CHORD THAT BEARS NORTH 28 DEGREES 21 MINUTES 58 SECONDS EAST, A DISTANCE OF 18.07 FEET TO A POINT 5 FEET SOUTH OF THE NORTH LINE OF SAID TRACT ONE FOR THE NORTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

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301 W. BROADWAY ST.  
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TBPLS FIRM NO. 10048000

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THENCE NORTH 89 DEGREES 23 MINUTES 57 SECONDS EAST, PARALLEL WITH SAID NORTH LINE, A DISTANCE OF 1633.18 FEET TO A POINT 5 FEET WEST OF THE EAST LINE OF SAID TRACT ONE FOR THE MOST NORTHERLY NORTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE SOUTH 00 DEGREES 58 MINUTES 02 SECONDS EAST, PARALLEL WITH SAID EAST LINE AND 5 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID CLEM AND CRIDER TRACT, A DISTANCE OF 2163.83 FEET TO A POINT FOR CORNER;

THENCE SOUTH 88 DEGREES 42 MINUTES 42 SECONDS WEST, A DISTANCE OF 163.66 FEET TO A POINT FOR CORNER;

THENCE SOUTH 42 DEGREES 55 MINUTES 38 SECONDS WEST, A DISTANCE OF 69.88 FEET TO A POINT FOR CORNER;

THENCE SOUTH 89 DEGREES 25 MINUTES 50 SECONDS WEST, A DISTANCE OF 92.18 FEET TO A POINT FOR CORNER;

THENCE SOUTH 74 DEGREES 24 MINUTES 19 SECONDS WEST, A DISTANCE OF 364.91 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 50.72 FEET, A RADIUS OF 59.00 FEET, A CENTRAL ANGLE OF 49 DEGREES 15 MINUTES 07 SECONDS, AND A CHORD THAT BEARS SOUTH 27 DEGREES 22 MINUTES 09 SECONDS EAST, A DISTANCE OF 49.17 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 02 DEGREES 44 MINUTES 36 SECONDS EAST, A DISTANCE OF 369.26 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 12.41 FEET, A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 14 DEGREES 13 MINUTES 09 SECONDS, AND A CHORD THAT BEARS SOUTH 09 DEGREES 51 MINUTES 10 SECONDS EAST, A DISTANCE OF 12.38 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 16 DEGREES 57 MINUTES 44 SECONDS EAST, A DISTANCE OF 98.33 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 11.99 FEET, A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 13 DEGREES 44 MINUTES 35 SECONDS, AND A CHORD THAT BEARS SOUTH 10 DEGREES 05 MINUTES 27 SECONDS EAST, A DISTANCE OF 11.96 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 03 DEGREES 13 MINUTES 09 SECONDS EAST, A DISTANCE OF 162.93 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 30.40 FEET, A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 87 DEGREES 06 MINUTES 11 SECONDS, AND A CHORD THAT BEARS SOUTH 46 DEGREES 46 MINUTES 15 SECONDS EAST, A DISTANCE OF 27.56 FEET TO THE END OF SAID CURVE;

THENCE NORTH 89 DEGREES 40 MINUTES 39 SECONDS EAST, A DISTANCE OF 272.51 FEET TO A POINT FOR CORNER;

THENCE SOUTH 00 DEGREES 55 MINUTES 33 SECONDS EAST, A DISTANCE OF 195.47 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 42.73 FEET, A RADIUS OF 390.00 FEET, A CENTRAL ANGLE OF 06 DEGREES 16 MINUTES 37 SECONDS, AND A CHORD THAT BEARS SOUTH 04 DEGREES 03 MINUTES 52 SECONDS EAST, A DISTANCE OF 42.70 FEET TO THE END OF SAID CURVE;

THENCE SOUTH 07 DEGREES 12 MINUTES 10 SECONDS EAST, A DISTANCE OF 3.01 FEET TO A POINT FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF SAID F.M. 544;

THENCE NORTH 89 DEGREES 04 MINUTES 27 SECONDS EAST, WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 175.39 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 27 SECONDS WEST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 32.49 FEET TO A POINT FOR CORNER;

THENCE NORTH 89 DEGREES 01 MINUTES 44 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 89.22 FEET TO A POINT FOR CORNER;

THENCE SOUTH 01 DEGREES 15 MINUTES 48 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 22.71 FEET TO A POINT FOR CORNER;

THENCE NORTH 89 DEGREES 04 MINUTES 17 SECONDS EAST, CONTINUING WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 457.51 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 55 MINUTES 43 SECONDS WEST, A DISTANCE OF 182.10 FEET TO A POINT FOR CORNER;

THENCE NORTH 02 DEGREES 11 MINUTES 42 SECONDS EAST, A DISTANCE OF 473.52 FEET TO A POINT FOR CORNER;

THENCE NORTH 00 DEGREES 25 MINUTES 08 SECONDS EAST, A DISTANCE OF 274.64 FEET TO A POINT FOR CORNER 5 FEET SOUTH OF THE SOUTH LINE OF SAID LAKEWOOD HILLS TRACT;

THENCE NORTH 80 DEGREES 53 MINUTES 43 SECONDS EAST, PARALLEL WITH SAID SOUTH LINE, A DISTANCE OF 758.65 FEET TO THE POINT OF BEGINNING AND CONTAINING 144.130 ACRES OF LAND, MORE OR LESS.

**NOTES:**

1. BEARING BASIS DERIVED FROM GPS OBSERVATIONS MADE ON THE GROUND. TEXAS NORTH CENTRAL NAD 83.
2. THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTEREST IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTEREST IMPLIED OR ESTABLISHED BY THE CREATION OR RECREATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

**CARROLLTON ANNEXATION**

**144.130 ACRES**

**DENTON COUNTY, TEXAS**



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