

	PROPOSED ENTRY SIGN, TBD.
	8'-0" HT. MASONRY OR PRECAST WITH MASONRY FINISH WALL WITH ENHANCED MASONRY COLUMNS SPACED APPROX. 100' O.C.
	6'-0" HT. BOARD ON BOARD WOOD FENCE; BY DEVELOPER.
	6'-0" HT. BOARD ON BOARD WOOD FENCE; BY BUILDER.
	6'-0" HT. ORNAMENTAL METAL FENCE; BY BUILDER.
	PROPOSED FIRE HYDRANT
	PERMANENT PLANTED TURF GRASS OR OTHER LIVING PLANT MATERIAL, TYP.

SHRUB AND GROUNDCOVER BED.
(34) - 5 GALLON SHRUB PER 100 FEET OF FRONTAGE SHALL BE REQUIRED. EVERGREEN SHRUBS PLANTED ALONG THE PERIMETER WALL SHALL BE 24" IN HEIGHT AT TIME OF PLANTING.

3" CALIPER SHADE TREE; 10' MIN. HEIGHT.
(2) - 3" SHADE TREES PER 100 FEET OF FRONTAGE SHALL BE REQUIRED.

3" CALIPER ORNAMENTAL TREE; 6' MIN. HEIGHT.
(3) - 3" ORNAMENTAL TREES PER 100 FEET OF FRONTAGE SHALL BE REQUIRED.

3" CALIPER TREE SHADE TREE; 6' MIN. HEIGHT PROVIDED BY THE DEVELOPER WITHIN OPEN SPACE.

3" CALIPER TREE SHADE TREE; 6' MIN. HEIGHT PROVIDED BY THE BUILDER AT TIME OF HOME CONSTRUCTION.

GENERAL LANDSCAPE REQUIREMENTS

A MINIMUM TEN (10) PERCENT OF THE TOTAL AREA OF THE LOT OF RECORD UPON WHICH DEVELOPMENT, CONSTRUCTION OR RECONSTRUCTION OCCURS FOR ANY USE AFTER THE EFFECTIVE DATE OF THIS ORDINANCE SHALL BE DEVOTED TO LANDSCAPE AS REQUIRED IN SINGLE FAMILY RESIDENTIAL ZONING DISTRICT.

TOTAL SITE: 364,360 SF (8.36 ACRES)	
REQUIRED	PROVIDED
36,436 SF (10%) PUBLIC OPEN SPACE	63,940.00 SF (17.50%) PUBLIC OPEN SPACE

LANDSCAPE BUFFER REQUIREMENTS

1. A LANDSCAPE BUFFER SHALL AVERAGE 15 FEET IN WIDTH, BUT NO LESS THAN TEN FEET MINIMUM WIDTH AT ANY POINT, ADJACENT TO ALL STREET RIGHTS-OF-WAY OR STREET EASEMENTS MEASURED FROM THE PROPERTY LINE INTO THE SUBJECT SITE AND SHALL BE MAINTAINED AS PERMANENT GREEN SPACE.

2. A MAXIMUM 50 PERCENT OF THE BUFFER AREA MAY BE PLANTED WITH TURF GRASS.
3. ALL FENCING AND SCREENING WALLS SHALL BE PLACED BEHIND THE REQUIRED LANDSCAPE BUFFER. SUCH LANDSCAPE BUFFER(S) SHALL BE COUNTED TOWARDS MEETING THE MINIMUM SQUARE FOOTAGE OF REQUIRED LANDSCAPE AREA FOR THE SITE.

REQUIRED	PROVIDED
PGBT FRONTAGE ROAD	

(2) 3" CAL. TREE / 100 LF = 1,883 LF / 100 LF = 18.83 x 2 = 38 - 3" CAL. TREES	38 - 3" CAL. TREES; TREES TO BE MINIMUM 10'-12" IN HEIGHT AT TIME OF PLANTING.
(3) 3" CAL. ORN. TREE / 100 LF = 1,883 LF / 100 LF = 18.83 x 3 = 56 - 3" CAL. ORN. TREES	56 - 3" CAL. TREES; TREES TO BE MINIMUM 6'-8" IN HEIGHT AT TIME OF PLANTING.

(34) 5 GAL. EVERGREEN SHRUB / 100 LF = 1,883 LF / 100 LF = 18.83 x 34 = 640 - 5 GAL. EVERGREEN SHRUBS	7,486 SF OF LANDSCAPE BEDS SHOWN TOTAL; BEDS WILL BE A MINIMUM 645 - 5 GAL. EVERGREEN SHRUBS 2' HT. AT PLANTING, GRASSES AND GROUND COVER.
---	--

SINGLE FAMILY RESIDENTIAL MINIMUM LANDSCAPE PERCENTAGE

MINIMUM LANDSCAPE AREA REQUIRED FOR SINGLE FAMILY RESIDENTIAL IS 10%

REQUIRED	PROVIDED
TYPICAL 45'x73' LOTS = 337.50 SF (10%) LANDSCAPE	≥675 SF (20%) OF LOT WILL BE A MIX OF LANDSCAPE AND TURF GRASS.
TYPICAL 83'x55' LOTS = 456.50 SF (10%) LANDSCAPE	≥913 SF (20%) OF LOT WILL BE A MIX OF LANDSCAPE AND TURF GRASS.

- ANY ELEMENTS TO BE ESTABLISHED WILL BE IDENTIFIED AND PROVIDED AT TIME OF PLANTING.
- GRAPHIC ILLUSTRATIONS IN THE OPEN SPACES ARE NOT INTENDED TO COMMUNICATE, SHOW, OR REPRESENT ACTUAL LAYOUT, OR DETAILED LANDSCAPE DESIGN.
- ALL ROADS, SIDEWALKS, FIRE LANES, DRIVE AISLES AND INTERSECTIONS WILL COMPLY WITH THE CITY OF CARROLLTON ENGINEERING DESIGN STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
- SIDEWALKS WILL BE CONSTRUCTED ALONG ALL CITY STREETS. INTER-CONNECTIVITY WILL BE PROVIDED THAT MEETS CITY OF CARROLLTON AND ADA STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
- TREE PLACEMENT ALONG CITY STREETS SHALL COMPLY WITH CITY OF CARROLLTON STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT. A PORTION OF TREES FOR SCREENING PURPOSES MAY BE ELECTED TO BE PLANTED WITHIN INTERNAL HOA MAINTAINED COMMON AREAS IF UTILITY AND SITE VISIBILITY CONFLICTS EXISTING WITHIN THE PERIMETER BUFFER AREAS. FURTHERMORE, TREES SHALL NOT OBSTRUCT OR IMPEDE THE VIEW OF ANY STOP SIGN.
- ALL MASONRY SCREENING WALLS SHOWN ON THESE EXHIBITS SHALL BE OWNED AND MAINTAINED BY THE HOA.
- TREE SURVEY PLANS WILL BE SUBMITTED AT A LATER DATE.
- ALL OPEN SPACE AREAS SHALL RECEIVE 100% COVERAGE OF COMMON BERMUDA SOD.
- ALL LANDSCAPE AREAS WHETHER REQUIRED OR NOT MUST BE IRRIGATED WITH A FULLY AUTOMATIC LANDSCAPE IRRIGATION SYSTEM DESIGNED AND INSTALLED PER CURRENT TEXAS COMMISSION OF ENVIRONMENTAL QUALITY AND THE CITY OF CARROLLTON LANDSCAPE IRRIGATION STANDARDS.
- ORNAMENTAL TREES SHOWN ON PRIVATE LOTS AND R.O.W. ADJACENT TO PRIVATE LOTS SHALL BE INSTALLED BY THE BUILDING OF HOME CONSTRUCTION.
- TREES, REGARDLESS OF SPECIES, PLANTED BETWEEN THE BACK OF CURB AND THE SIDEWALK MUST HAVE A ROOT BARRIER INSTALLED.
- NO MORE THAN 34% OF A SINGLE TREE SPECIES MAY BE PLANTED IN THE NEIGHBORHOOD.



8'-0" HT. MASONRY OR PRECAST WITH MASONRY FINISH WALL
EXAMPLE IMAGE

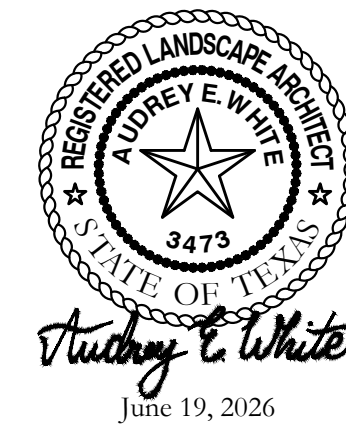


6'-0" HT. BOARD ON BOARD WOOD FENCE

 EXAMPLE IMAGE NOT TO SCALE



PROPOSED PLAY AREA
EXAMPLE IMAGE



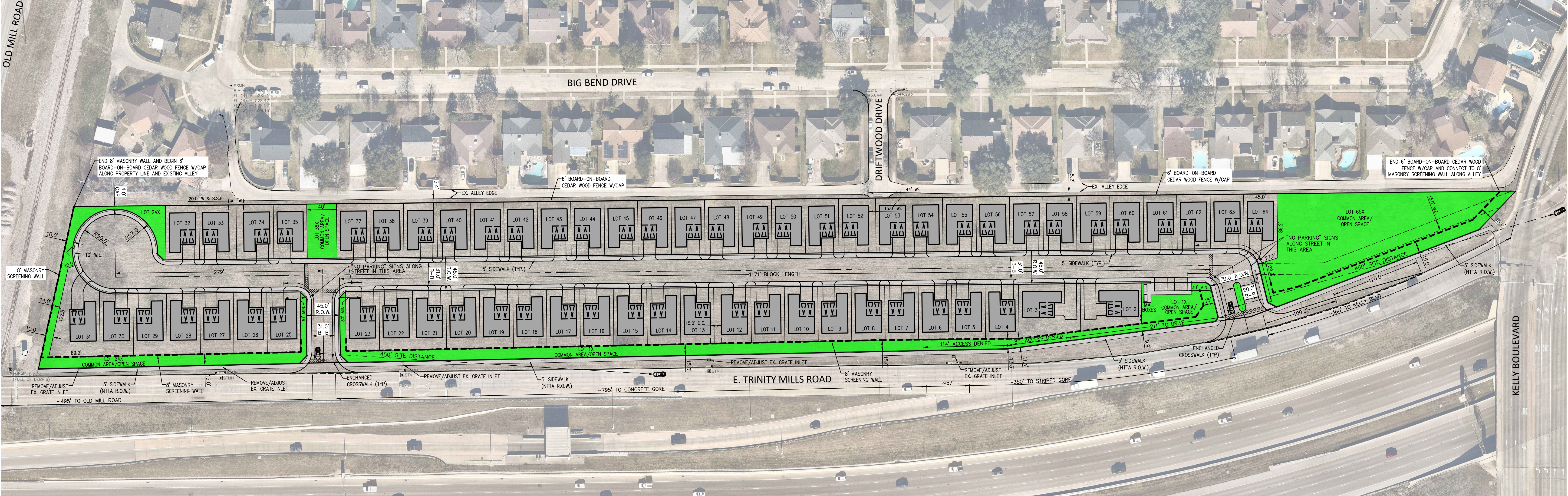
NOTE: ALL PLANT MATERIAL SHALL BE FROM THE CITY OF CARROLLTONS APPROVED PLANT LIST AND FOLLOW THE CITY OF CARROLLTONS GENERAL LANDSCAPING REQUIREMENTS AND STANDARDS.

Record of Submissions		
2	06/19/26	2nd Zoning Submittal
1	04/28/26	1st Zoning Submittal
No.	Date	Submission Description

Owner/Developer:
BRIDGE TOWER GP
5430 IBJ Freeway, Suite 1050
Dallas, Texas 75240
Phone: 469-936-1695
Contact: Shaivali Desai

Landscape Architect:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Audrey White, RLA, LI

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE



SITE DATA SUMMARY				
		EXISTING		PROPOSED
ZONING		PD-44		PD (BASE: SF-5/12)
USE		VACANT		SINGLE-FAMILY
GROSS SITE AREA, AC (SF)		8.36 ACRES (364,360 SF)		
LOTS	RESIDENTIAL	-	-	61
	COMMON AREA	-	-	4
	TOTAL	-	-	65
PARKING SPACES	RESIDENTIAL	-	-	2 / DU
	COMMON AREA	-	-	5
	TOTAL	-	-	127
AREA REGULATIONS		BASE: SF-5/12	PD (45' LOT)	PD (83' LOT)
MINIMUM LOT AREA (SF)		5000	3,285	4,565
FLOOR AREA (SF)		1,200	1,800	1,800
MAX DWELLING HEIGHT		36'		36'
MAX BLDG COVERAGE		55%	55%	55%
MINIMUM DEPTH TO GARAGE FROM R.O.W.		18'		20'
*MINIMUM LOT FRONTAGE		50'	45'	83'
**MINIMUM LOT DEPTH		90'	73'	55'
MINIMUM FRONT YARD		20'		10'
MINIMUM SIDE YARD		5'		5'
MINIMUM REAR YARD		10'		10'
LANDSCAPE AREA	REQUIRED	10%	10%	10%
	PROVIDED	-	35%	35%
COMMON AREA / OPEN SPACE, SF		63,610 (17.5%)		

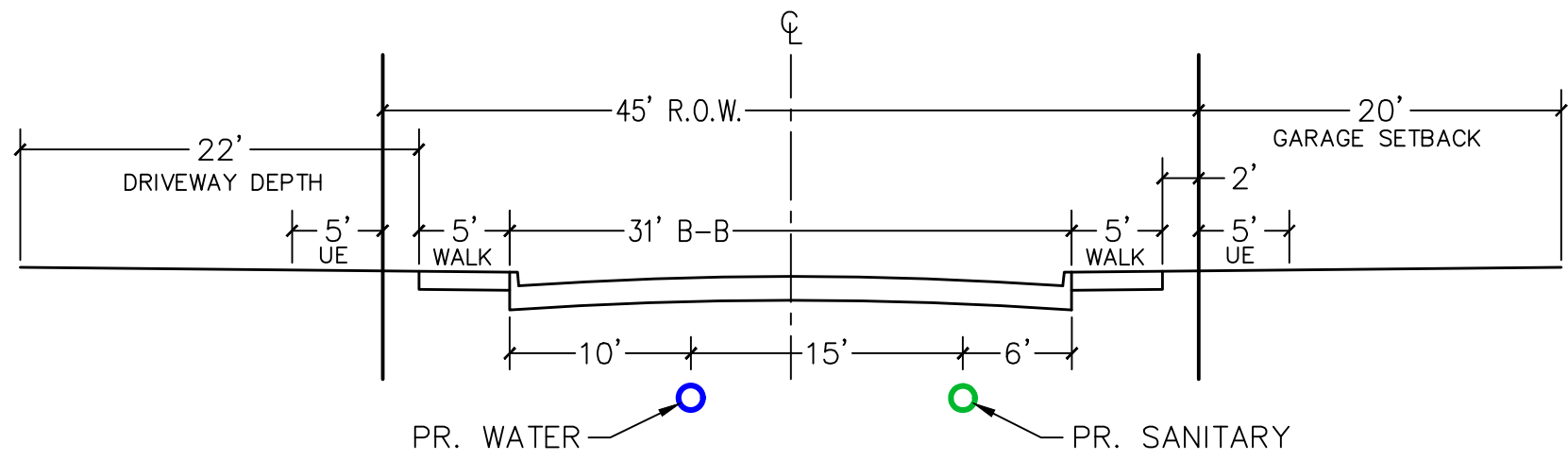
* MINIMUM LOT WIDTH MAY BE REDUCED BY 5' FOR LOTS LOCATED ALONG ELBOWS, CUL-DE-SACS, OR ALONG A CURVE PROVIDED ALL OTHER AREA REGULATIONS ARE MET

** MINIMUM LOT DEPTH MAY BE REDUCED BY 10' FOR LOTS LOCATED ALONG ELBOWS, CUL-DE-SACS, OR ALONG A CURVE PROVIDED ALL OTHER AREA REGULATIONS ARE MET

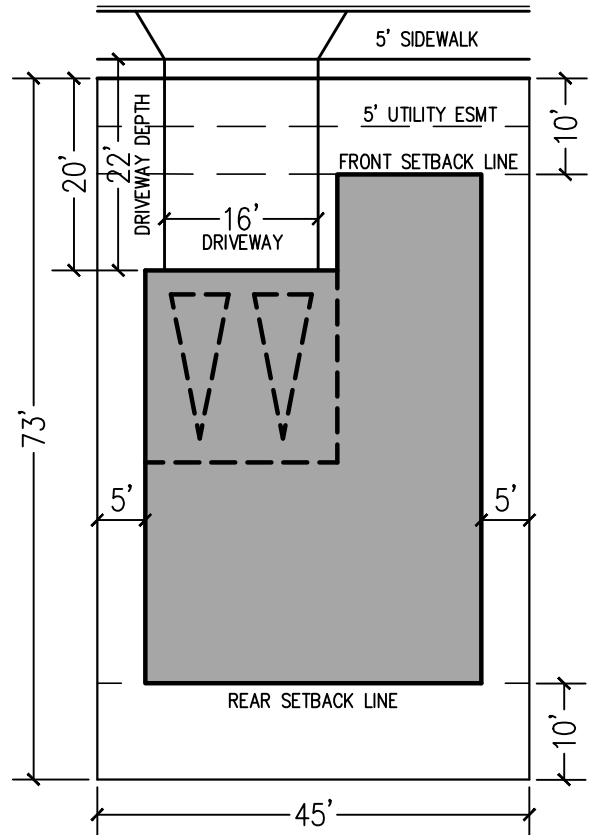
STREET ROW WIDTH WILL BE 45' FOR 3' B-B SECTION

CONCEPT PLAN GENERAL NOTES

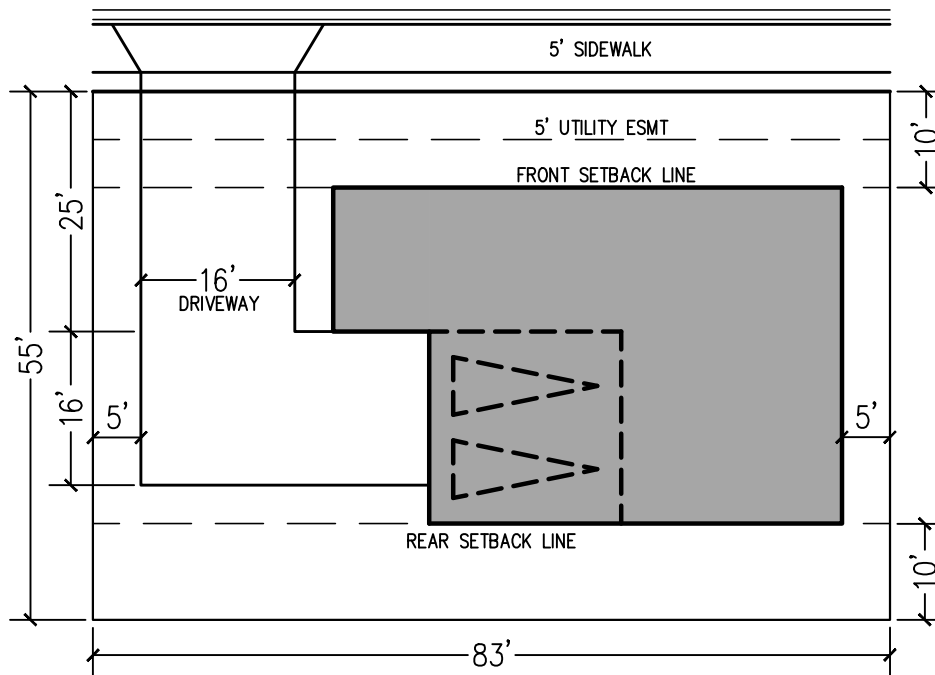
- DEVIATIONS FROM CURRENT DEVELOPMENT STANDARDS AND REGULATIONS NOT SPECIFICALLY ADDRESSED AND LISTED FOR APPROVAL AS PART OF THE PLANNED DEVELOPMENT (PD) REGULATIONS MAY REQUIRE APPROVAL PROCESS BY P&Z COMMISSION AND/OR CITY COUNCIL.
- ALL CURRENT DEVELOPMENT REQUIREMENTS OF THE CITY AS AMENDED SHALL BE MET UNLESS APPROVED OTHERWISE WITHIN THESE PD REGULATIONS.
- THIS CONCEPT PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE. ALONG WITH DEVELOPMENT REGULATIONS, THE CONCEPT PLAN IS MEANT TO DESCRIBE INTENT OF OF PD. SIGNIFICANT DEVIATIONS FROM THIS CONCEPT PLAN, AS DETERMINED BY THE PLANNING DIRECTOR, WILL REQUIRE AN AMENDMENT TO THE CONCEPT PLAN AND, AS NECESSARY, THE PD REGULATIONS.
- ACCORDING TO FEMA FIRM PANELS 48113C0160K & 48113C0180K (EFFECTIVE JULY 7, 2014) FLOODPLAIN DOES NOT EXIST ON THIS PROPERTY.
- THE DEVELOPMENT OF THE SITE WILL BE IN ACCORDANCE WITH THE CITY OF CARROLLTON DEVELOPMENT & DESIGN STANDARDS.



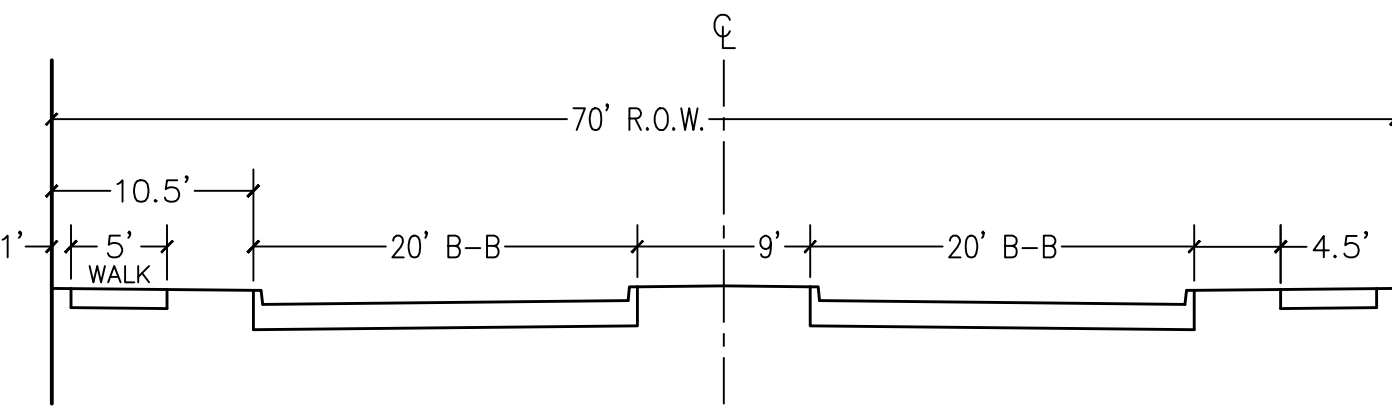
TYPICAL PAVEMENT & UTILITY SECTION



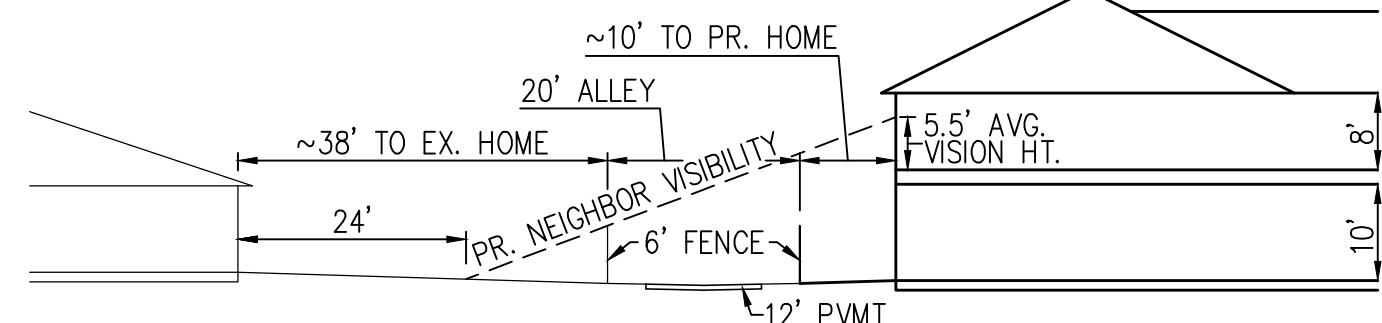
TYPICAL 45' LOT



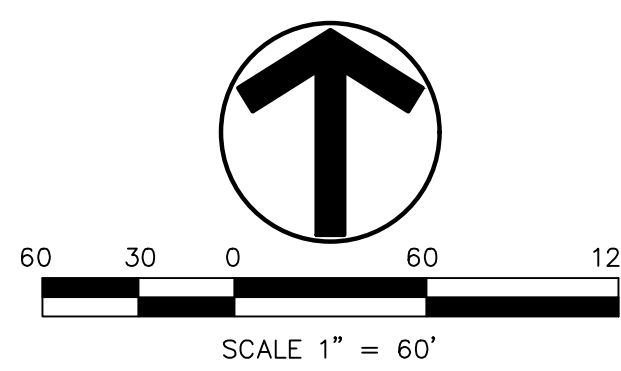
TYPICAL 83' LOT



ENTRY PAVEMENT SECTION



LINE OF SITE DETAIL



OWNER
HARLAN PROPERTIES INC
2404 TEXAS DRIVE, SUITE 103
IRVING, TEXAS 75062

DEVELOPER
BRIDGE TOWER HOMES
5430 LBJ FREEWAY, SUITE 1500
DALLAS, TEXAS 75240
MS. SHAIVALI DESAI
(469) 936-1695

JOHNSON VOLK CONSULTING
JBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

CONCEPT PLAN
KELLY COVE ADDITION

APPROX. 8.36 AC
CITY OF CARROLLTON
DALLAS COUNTY, TEXAS

JUNE 2026



CONCEPTUAL IMAGERY OF 45' WIDE LOT (MODERN PRAIRE STYLE)

BRIDGE TOWER
[City], [State]

KELLY COVE
Carrollton, Texas



April 27, 2026

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2026 BSB Design, Inc.



LEFT ELEVATION OF 45' WIDE LOT
(MODERN PRAIRE STYLE)

BRIDGE TOWER

[City], [State]

KELLY COVE

Carrollton, Texas

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2026 BSB Design, Inc.

April 20, 2026





RIGHT ELEVATION OF 45' WIDE LOT
(MODERN PRAIRE STYLE)

BRIDGE TOWER

[City], [State]

KELLY COVE

Carrollton, Texas

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2026 BSB Design, Inc.

April 20, 2026





REAR ELEVATION OF 45' WIDE LOT
(MODERN PRAIRE STYLE)

BRIDGE TOWER
[City], [State]

KELLY COVE
Carrollton, Texas

April 20, 2026





CONCEPTUAL IMAGERY OF 45' WIDE LOT (TRANSITIONAL STYLE)

BRIDGE TOWER

[City], [State]

KELLY COVE

Carrollton, Texas

April 27, 2026



The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2026 BSB Design, Inc.



LEFT ELEVATION OF 45' WIDE LOT
(TRANSITIONAL STYLE)

BRIDGE TOWER

[City], [State]

KELLY COVE

Carrollton, Texas

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2026 BSB Design, Inc.

April 20, 2026





RIGHT ELEVATION OF 45' WIDE LOT
(TRANSITIONAL STYLE)

BRIDGE TOWER

[City], [State]

KELLY COVE

Carrollton, Texas

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2026 BSB Design, Inc.

April 20, 2026





REAR ELEVATION OF 45' WIDE LOT
(TRANSITIONAL STYLE)

BRIDGE TOWER

[City], [State]

KELLY COVE

Carrollton, Texas

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2026 BSB Design, Inc.

April 20, 2026





CONCEPTUAL IMAGERY OF 45' WIDE LOT
(FRENCH COUNTRY STYLE)

BRIDGE TOWER

KELLY COVE
Carrollton, Texas

May 28, 2026

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2026 BSB Design, Inc.





FRONT ELEVATION OF 83' WIDE LOT
(TRANSITIONAL STYLE)

BRIDGE TOWER

KELLY COVE
Carrollton, Texas

